CERT 20-06
May 19, 2006
PUBLIC NOTICE
S. C. DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL
OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
COASTAL ZONE MANAGEMENT CONSISTENCY CERTIFICATION

In accordance with the S. C. Coastal Zone Management Act of 1977, as amended, Chapter V, S. C. Coastal Zone Management Program Document and the S. C. Administrative Procedures Act, the following projects have been received for determination of consistency with the S. C. Coastal Zone Management Program. Information on the Projects is available for public inspection at the:

Office of Ocean and Coastal Resource Management
S. C. Department of Health and Environmental Control
1362 McMillan Avenue, Suite 400
Charleston, South Carolina 29405

Comments must be received within ten days of the date of this public notice by May 29, 2006. The following projects are listed by project name or applicant, location, type of activity, type of permit, and permitting agency (see attached list of abbreviations and keys):

Beaufort County

Heyward Point, Phases 2A, 2B, 2C, and 2D with Amenities, SCDHEC# 5542, SW# 07-00-11-03, TMS# R600-009-000-031A-0000, WW/WS, SCDHEC# 5542/54877, located near the intersection of SC Highway 170 and Callawassie Drive, Okatie Community, OCRM (SW) (WW/WS). **Note: This project is proposed to impact 2.36 acres of Federally non-jurisdictional wetlands. The proposed impact requires approval under the SCCZM program. This plan will fill one isolated wetland for a total impact of 2.36 acres. Mitigation will be provided for the proposed impact by onsite wetland and upland buffer preservation. The mitigation plan includes approximately 32.18 acres of wetland preservation and 19.25 acres of adjacent upland buffer.**

Alston Park at New Riverside, Phase 2, SCDHEC# 28405, SW# 07-06-05-11, TMS# R610-044-000-0002-0000, WW/WS, SCDHEC# 28405/54864, located on New Riverside Road, Bluffton, OCRM (SW) (WW/WS)

Lawton Station, Phase 3, SCDHEC# 28406, SW# 07-06-05-12, TMS# R600-029-000-0001-0000, WW/WS, SCDHEC# 28406/54865, located on SC Highway 170, Bluffton, OCRM (SW) (WW/WS)

Matthew's Drive, SCDHEC# 28445, SW# 07-06-05-13, located on Hilton Head Island, OCRM (SW)

Hamilton Place, SCDHEC# 28466, SW# 07-06-05-14, TMS# R200-010-000-0341-0000, WW/WS, SCDHEC# 28466/54880, located off of Middle Road across from Fiddler Road, Lady's Island, OCRM (SW) (WW/WS)

Cottages at Stillwell, SCDHEC# 28468, SW# 07-06-05-15, MS# R600-036-000-016C and R600-036-000-016K-0000, WW/WS, SCDHEC# 28468/54881, located on Stillwell Road, South of Highway 46, Bluffton, OCRM (SW) (WW/WS)

Overlook (at Battery Creek), Phase 1C of 2, SCDHEC# 28487, SW# 07-06-05-16. TMS# R120-032-000-001C-0000, located on Mink Point Boulevard, Beaufort, OCRM (SW)

Enmark Stations Inc., SCDHEC# 28489, SW# 07-06-05-17, TMS# R112-034-000-0158-0000, located in Port Royal, OCRM (SW)

Berkeley County

Samantha's Estates Subdivision, SCDHEC #28408, SW#08-06-05-07, TMS#252-03-08-001, located at Howe Hall Road and Ruby Ridge Lane, Goose Creek OCRM (SW)

Charleston County

Wingate Inn Hotel, SCDHEC# 28407, SW# 10-06-05-09, TMS# N/A, WW, SCDHEC# 28407/54866, WS, SCDHEC# 28407/54867, located at University Boulevard at Charleston Southern University, North Charleston, OCRM (SW) (WW/WS)

Brickman Farms, Phase 1, SCDHEC# 28490/54883, located roughly between Patton Avenue, Summerall Road, Fickling Hill Road and Johan Road, Johns Island, OCRM (PER)

Dorchester County

Carolina Truss, SCDHEC# 28488, SW# 18-06-05-06, TMS# 2-00-00-050, located at 351 International Circle, Summerville, OCRM (SW)

Horry County

Carolina Forest-Portion Tracts 10, 11, 15 & 16, SCDHEC #25266, SW#26-06-01-26, TMS# Portion of 164-00-01-012, 064 & 173-00-01-047, located off of River Oaks Drive near Berkshire Forest, west of Myrtle Beach, OCRM (SW)

Myrtle Basin Stormwater Improvements, SCDHECID# 28346, SW#26-06-05-09, TMS#191-16-36-001, generally bounded by the Atlantic Ocean on the east portions of 6th Avenue South, Cypress Drive, and 5th Avenue South on the south portions of 5th Avenue North and 8th Avenue North on the north, and U. S. Highway 17 Business on the west, within the boundaries of the Town of Surfside Beach, OCRM (SW)

Calypso Keyes, SCDHEC# 28367, SW#26-06-05-11, TMS#144-13-44-006, 007, & 008, located at 1209 South Ocean Boulevard near 13th Avenue South, North Myrtle Beach, OCRM (SW)

Barefoot Resort Bridge Road Widening, SCDHEC# 28365/54849, located on Barefoot Resort Bridge Road and Windy Hill Road Extension, North Myrtle Beach, SCDHEC (WW)

Jasper County

Beaufort-Jasper-Hampton Board of Comprehensive Health, SCDHEC# 28491, SW# 27-06-05-03, TMS# 062-00-06-018, WW/WS, SCDHEC# 28491/54884, located on SC Highway S-27-362, Ridgeland, OCRM (SW) (WW/WS)

End

AGENCIES ABBREVIATIONS

BCDCOG	Berkeley, Charleston, Dorchester Council of Governments
BCWSA	Berkeley County Water and Sanitation Authority
EQC	Environmental Quality Control (SCDHEC)
DCWSC	Dorchester County Water and Sewer Commission
GCWSD	Georgetown County Water and Sewer District
GSWSA	Grand Strand WSA
LCG	Lowcountry Council of Governments
OCRM	Ocean and Coastal Resource Management
BCB	Budget and Control Board
FBPWD	Folly Beach Public Works Department
GCPW	Goose Creek Public Works
SCDHEC	S. C. Department of Health and Environmental Control
SCDNR	S. C. Department of Natural Resources
SCDOT	S. C. Department of Transportation
SCGO	S. C. Governor's Office
SCPSA	S. C. Public Service Authority
SCPW	Summerville CPW
USAF	U. S. Air Force
USACOE	U. S. Army Corps of Engineers
USDA	U. S. Department of Agriculture
USDE	U. S. Department of Energy
USDHUD	U. S. Department of Housing and Urban Development
USDOT	U. S. Department of Transportation
USFHA	U. S. Farmers Home Administration
USFWS	U. S. Fish and Wildlife Service
USFS	U. S. Forest Service
USICC	U. S. Interstate Commerce Commission
USMC	U. S. Marine Corps
USN	U. S. Navy
WCOG	Waccamaw COG
MPWWSC	Mount Pleasant Water Works and Sewer Commission
MCCPW	Moncks Corner CPW

PERMITS AND OTHER ABBREVIATIONS

404	placement of dredged or fill material in wetlands
AIWW	Atlantic Intracoastal Waterway
AMP	archaeological master plan
A-95	grant review form
AQ	air quality
COG	council of governments
CPW	commissioners of public works
DMP	dock master plan
FC	federal consistency
GR	misc. grant review
LF	landfill
ND	no discharge
NWP	nation wide permit
OTHER	misc. permit, grant, or plan
PER	preliminary engineering report
S/D	subdivision
SCNW	South Carolina Navigable Waters
SW	stormwater
UST	underground storage tank
WMP	wetland master plan
WS	water supply
WSA	water and sewer authority
WW	wastewater
WTP	wastewater treatment plant

SPECIAL NOTES

*DMPs Dock Master Plans - OCRM is reviewing the listed DMPs for planning purposes only. Permitting decisions will occur when future dock applications are processed by OCRM for individual property owners. This document is used as a planning tool it is not subject to the appeal. OCRM welcomes comments from the public on these planning documents.

**WMPs Wetland Master Plans – OCRM is reviewing the listed WMPs for planning purposes only. Permitting decisions will occur when future applications are processed by OCRM, which include impacts to freshwater wetlands. This document is used as a planning tool; it is not subject to appeal. OCRM welcomes comments from the public on these planning documents.

***SWMPs Stormwater Master Plans – OCRM is reviewing the listed SWMPs for planning purposes only. Permitting decisions will occur when future applications are processed by OCRM. OCRM welcomes comments from the public on these planning documents.

****PERs Preliminary Engineering Reports – OCRM is reviewing the lists PERs for the purpose of commenting to other sections of DHEC concerning this document. OCRM will not be issuing a coastal zone consistency certification at this time but providing comments. If this proposal moves forward to the permitting process, OCRM would at that time do a full coastal zone consistency review.

D H E C

PROMOTE PROTECT PROVIDE

South Carolina Department of Health and Environmental Control

STANDARD APPLICATION FORM FOR LAND DISTURBING ACTIVITIES STORMWATER PERMITTING

SECTION 1 - Administrative Information
(To Be Completed By All Applicants)

Date: 5/5/06

1. Facility or project name: Heyward Point Phase 2A, 2B, 2C, and 2D w/ Amenities
   County: Beaufort City/Town: Okatie Community
   Location (also shown on location map): Near the intersection of S.C. Hwy. 170 and Callawassie Drive (S.C. Hwy. 54)
   Latitude: 32-21-30 Longitude: 80-52-30
   Tax map #: R600-009-000-031A-0000 USGS Quad Name: Spring Island

2. Nearest receiving water body: Marshes of Colleton River and Chechessee Creek
   Distance to nearest receiving water body: Property is Adjacent to Marsh
   Ultimate receiving water body: Port Royal Sound

3. Are there any wetlands located on the property? Yes If yes, have they been delineated? Yes
   Are any federally jurisdictional wetlands being impacted by this project? No If yes, has a Corps permit been issued? N/A
   Corps permit #: _____ Are any federally non-jurisdictional (state) wetlands being impacted by this project? Yes
   What is the total acreage of federally jurisdictional and state wetland impacts? 0 (Juris.) 2.357 (Non-juris.)
   On an 8 ½" X 11" copy of a site plan indicate the wetland impacts and the proposed mitigation.

4. Are there any existing flooding problems in the downstream watershed? No

5. Property owner of record: Hazel Point, LP
   Address: 15 Heyward Point Road Okatie, SC 29909
   Phone (day): (843) 645-2572 (night): (866) 379-7710 (fax): (843) 379-7712

6. Person financially responsible for the land disturbing activity: Same as Above, Attn: Frank Oberlin
   (if different than above)
   Address: _____
   Phone (day): _____ (night): _____ (fax): _____

7. Agent or day-to-day contact (if applicable): Jacob Lang - Thomas and Hutton Engineering Co.
   Address: P.O. Box 2727, Savannah, GA 31402-2727
   Phone (day): (912) 234-5300 (night): (912) 721-4129 (fax): (912) 234-2950

8. Plan preparer, engineer, or technical representative: Same as Agent
   Address: _____
   Phone (day): _____ (night): _____ (fax): _____

9. Contractor or operator (if known): Unknown at this time
   Address: _____
   Phone (day): _____ (night): _____ (fax): _____

10. Size, total (acres): 515.45 acres Surface area of land disturbance (acres): Approximately 101 acres

11. Start date: 6/1/06 Completion date: 6/1/08

SECTION 2A - For Projects That Disturb Less Than One (1) Acre Which Are Not Part of a Larger Common Plan for Development or Sale and Which Are Not Located Within ½ Mile of a Receiving Waterbody in the Coastal Counties

12. Description of control plan to be used during construction. (Must also be shown on plan sheets or sketch drawing):

    This plan does not have to be prepared by a professional engineer, tier b surveyor, or a landscape architect and there is **NO STATE REVIEW FEE** associated with this type of project. On a case-by-case basis, an NPDES permit with a $125 fee may be required.

13. For this form to be complete, the applicant must sign item 23.

SECTION 2B - For Projects That Disturb One (1) Acre or More But Less Than or Equal to Two (2) Acres Which Are Not Part of a Larger Common Plan for Development or Sale or Projects That Are Located Within ¼ Mile of a Receiving Waterbody in the Coastal Counties (See Special Requirements for Coastal Zone Projects on Instructions Sheet)

14. Description of control plan to be used during construction. (Must also be shown on plan sheets or sketch drawing):

This plan must be prepared by a professional engineer, tier b land surveyor, or a landscape architect

15. Fee: $125 NPDES General Permit coverage fee applies, exempt from state review fee.

16. SIC code: 1521 Is the site located on Indian lands? No

17. For this form to be complete, the applicant must sign items 23 and 24 and the plan preparer must sign item 25.

SECTION 3C - For Projects Disturbing More Than Two (2) Acres and/or Projects That Are a Part of a Larger Common Plan for Development or Sale

18. Is this part of a larger common plan for development or sale? Yes
If yes, what is the state permit number for the previous approval? 04-00-11-09
What is the NPDES permit coverage number?
Has a Notice of Termination (NOT) been submitted for the NPDES permit coverage? No

19. The stormwater management and sediment and erosion control plan for projects of this size must be prepared by a professional engineer, tier b land surveyor, or a landscape architect.

20. SIC code: 1521 Is the site located on Indian lands? Yes

21. Type of project and fees (please circle the type of activity):
a. Federal - State - Local - School (exempt from State fees, $125 NPDES fee applies):
b. Industrial - Commercial - Residential - Part of a larger common plan for development or sale [$100 per disturbed acre State fee (max. $2000)] plus $125 NPDES fee. (Maximum total for any project is $2125):

22. For this form to be complete, the applicant must sign items 23 and 24 and the plan preparer must sign item 25.

SECTION 3 - Signatures and Certifications

23. I hereby certify that all land disturbing construction and associated activity pertaining to this site shall be accomplished pursuant to and in keeping with the terms and conditions of the approved plans. I also certify that a responsible person will be assigned to the project for day-to-day control. I hereby grant authorization to the Department of Health and Environmental Control and/or the local implementing agency the right of access to the site at all times for the purpose of on site inspections during the course of construction and to perform maintenance inspections following the completion of the land disturbing activity.

Frank Oberlin as Managing Partner
Printed Name
Owner/Person Financially Responsible

Signature
Owner/Person Financially Responsible

24. I certify under penalty of law that I have personally examined and am familiar with the information submitted in this application and all attachments and that, based on my inquiry of those persons immediately responsible for obtaining the information contained in the application, I believe that the information is true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

Frank Oberlin as Managing Partner
Printed Name
Owner/Person Financially Responsible

Signature
Owner/Person Financially Responsible

25. Designer Certification - One copy of the plans, all specifications and supporting calculations, forms, and reports are herewith submitted and made a part of this application. I have placed my signature and seal on the design documents submitted signifying that I accept responsibility for the design of the system. Further, I certify to the best of my knowledge and belief that the design is consistent with the requirements of Title 48, Chapter 14 of the Code of Laws of SC, 1976 as amended, and pursuant to Regulation 72-300. (Five sets of plans are required for final approval.)

DANNY E. STANLEY, PE (SCLS 9211)
Signature

S. C. Registration Number

Check appropriate registration: Engineer ✓ Tier B Land Surveyor ____ Landscape Architect ____

USGS QUAD SHEET

HEYWARD POINT
SOURCE: SPRING ISLAND, S.C. QUADRANGLE, 1958

SHEET 1 OF 1
SCALE: 1" = 2000'
DATE: MAY 16, 2006
SOURCE: THOMAS & HUTTON ENGINEERING CO.

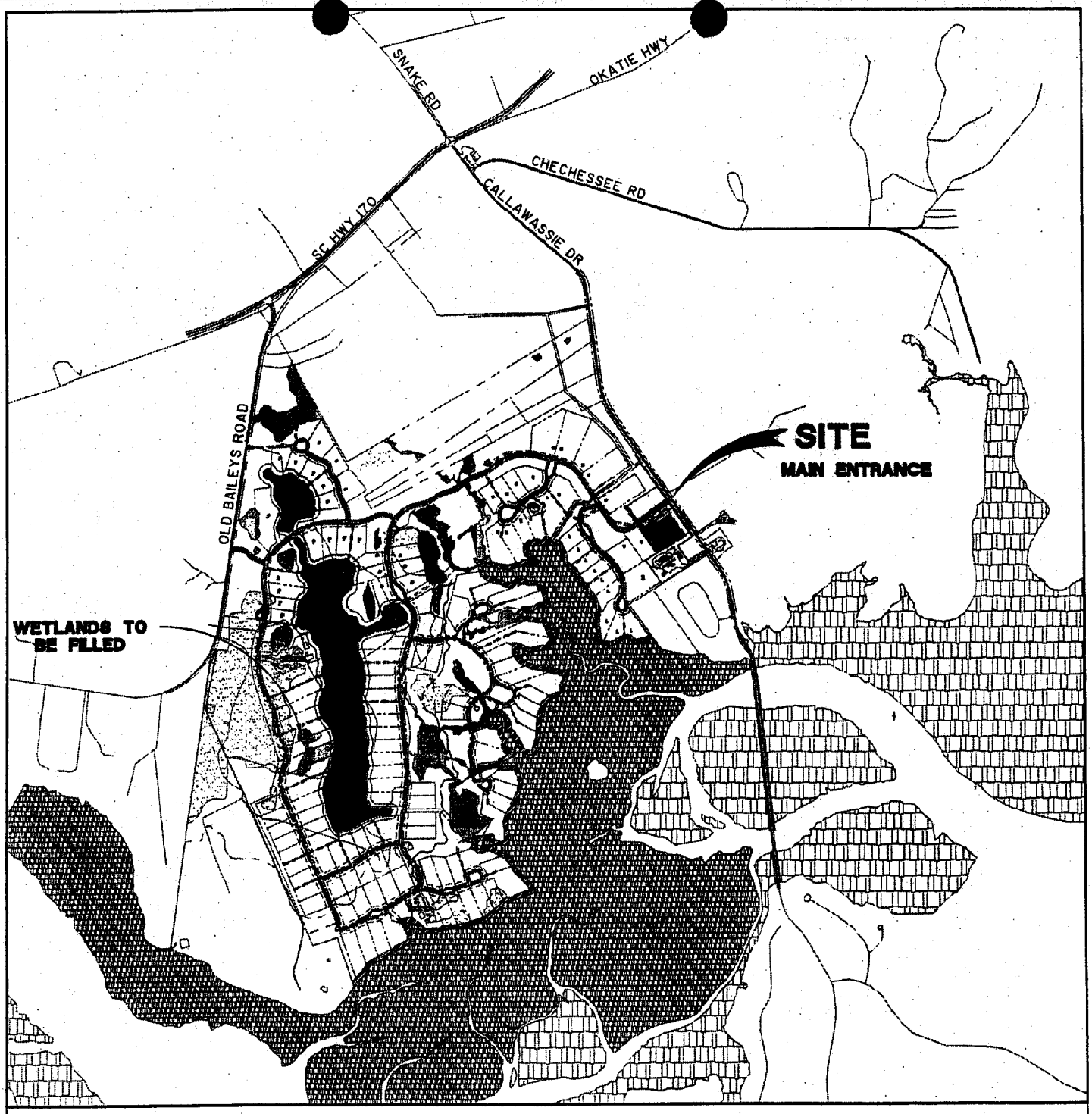
LATITUDE: 31° 21' 08"
LONGITUDE: 80° 51' 37"

DATUM: MEAN SEA LEVEL

PROPOSED ACTIVITY:
SITE DEVELOPMENT

COUNTY:
BEAUFORT, SOUTH CAROLINA

APPLICANT:
HAZEL POINTE, L.P.



SITE PLAN

HEYWARD POINT PHASE 2B

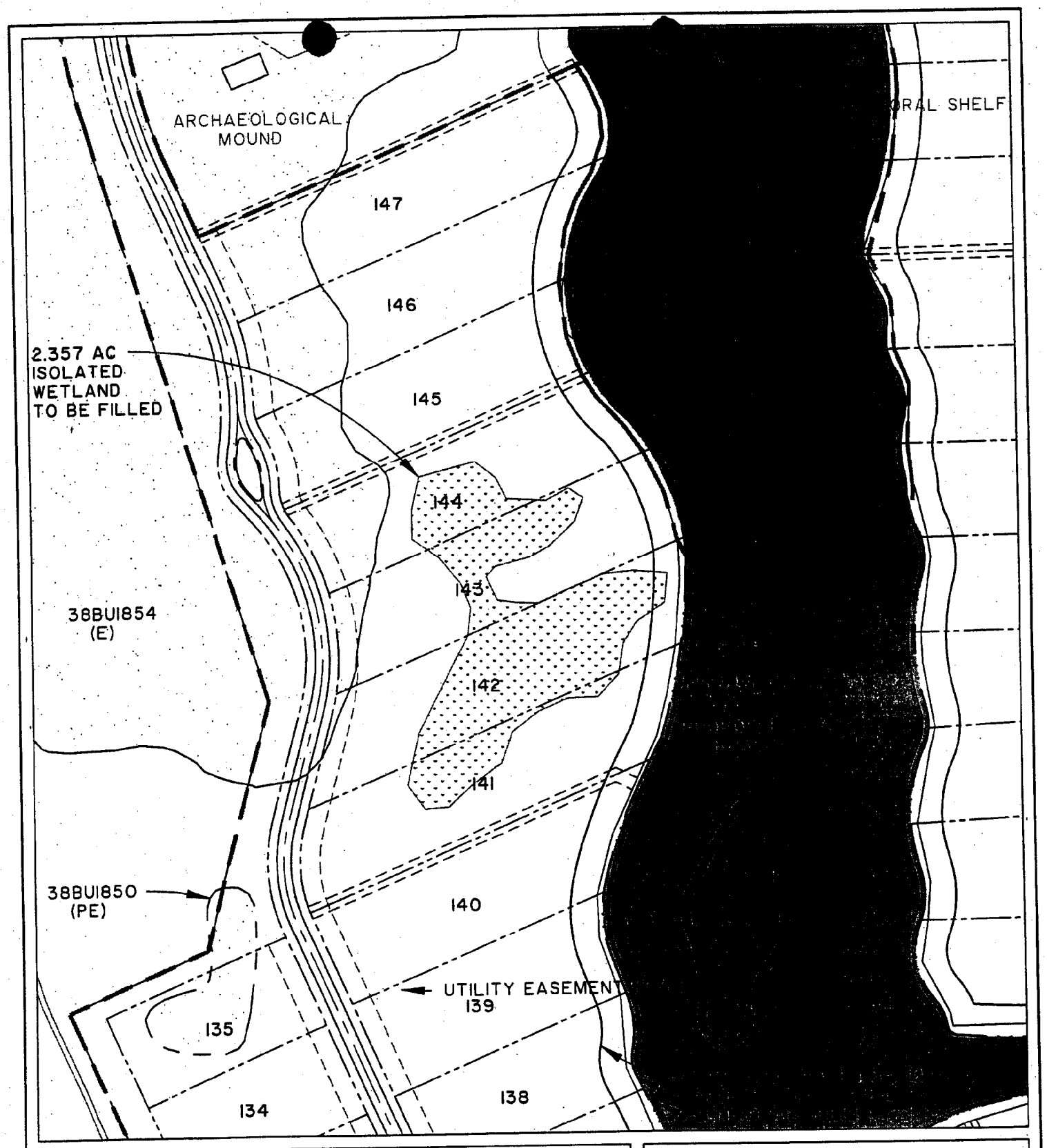
SITE PLAN

JANUARY 16, 2006
REVISED: JANUARY 25, 2006
JOB NUMBER: 16245
SHEET 2 OF 3
SOURCE: THOMAS & HUTTON ENGINEERING CO.

PROPOSED ACTIVITY:
WETLAND IMPACTS

COUNTY:
BEAUFORT

APPLICANT:
HAZEL POINT, LP



HEYWARD POINT PHASE 2B

PROJECT MAP SCALE: 1"=800'

JANUARY 16, 2006
REVISED: JANUARY 25, 2006
JOB NUMBER: 16245
SHEET 3 OF 3
SOURCE: THOMAS & HUTTON ENGINEERING CO.

PROPOSED ACTIVITY:
WETLAND IMPACTS

COUNTY:
BEAUFORT

APPLICANT:
HAZEL POINT, LP

D H E C

PROMOTE PROTECT PROSPER

C. Earl Hunter, Commissioner

Promoting and protecting the health of the public and the environment

PUBLIC NOTICE

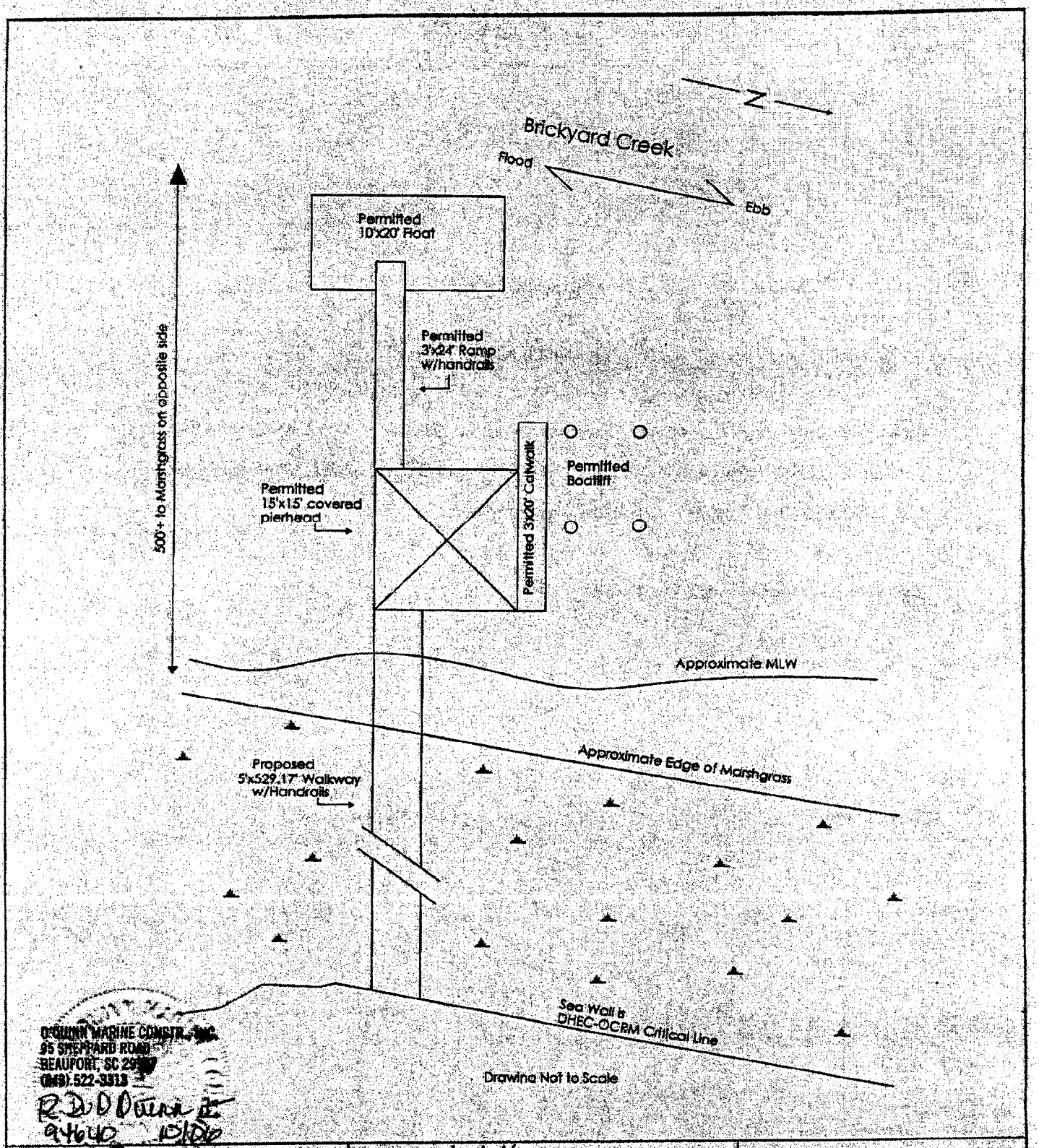
Amendment Request

The permittee for public notice number **2000-1E-022-P, Richard Leiberman,** is requesting an amendment to the above referenced permit. The permittee proposes to increase the permitted walkway from 4' to 5' in width. This proposed amendment is for the alteration of a private dock on and adjacent to Brickyard Creek at lot 16 Governor Blake Drive on Vivian's Island in Beaufort County, South Carolina.

Comments will be received until May 29, 2006.

May 19, 2006

SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL
Ocean and Coastal Resource Management
Beaufort Office • 104 Parker Drive • Beaufort, SC 29906 • Phone: (843) 846-9400 • Fax: (843) 846-9810 • www.scdhec.gov



O'QUINN MARINE CONSTR., INC.
95 SHEPPARD ROAD
BEAUFORT, SC 29907
(843) 522-3313

R D O'Quinn Jr
9/6/10 10/06

APPLICANT: Richard Lieberman	LOCATION: Lot 16 Governor Blake Dr. Vivian's Island	ADJACENT PROPERTY OWNERS: 1. Vivian's Island Inc.
ACTIVITY: Permit Amendment	COUNTY: Beaufort	2. Richard M. Kay, Jr.
P/N # 2000-1E-022	DATE: 4/28/06	

D H E C

PROMOTE PROTECT PROSPER

C. Earl Hunter, Commissioner

Promoting and protecting the health of the public and the environment.

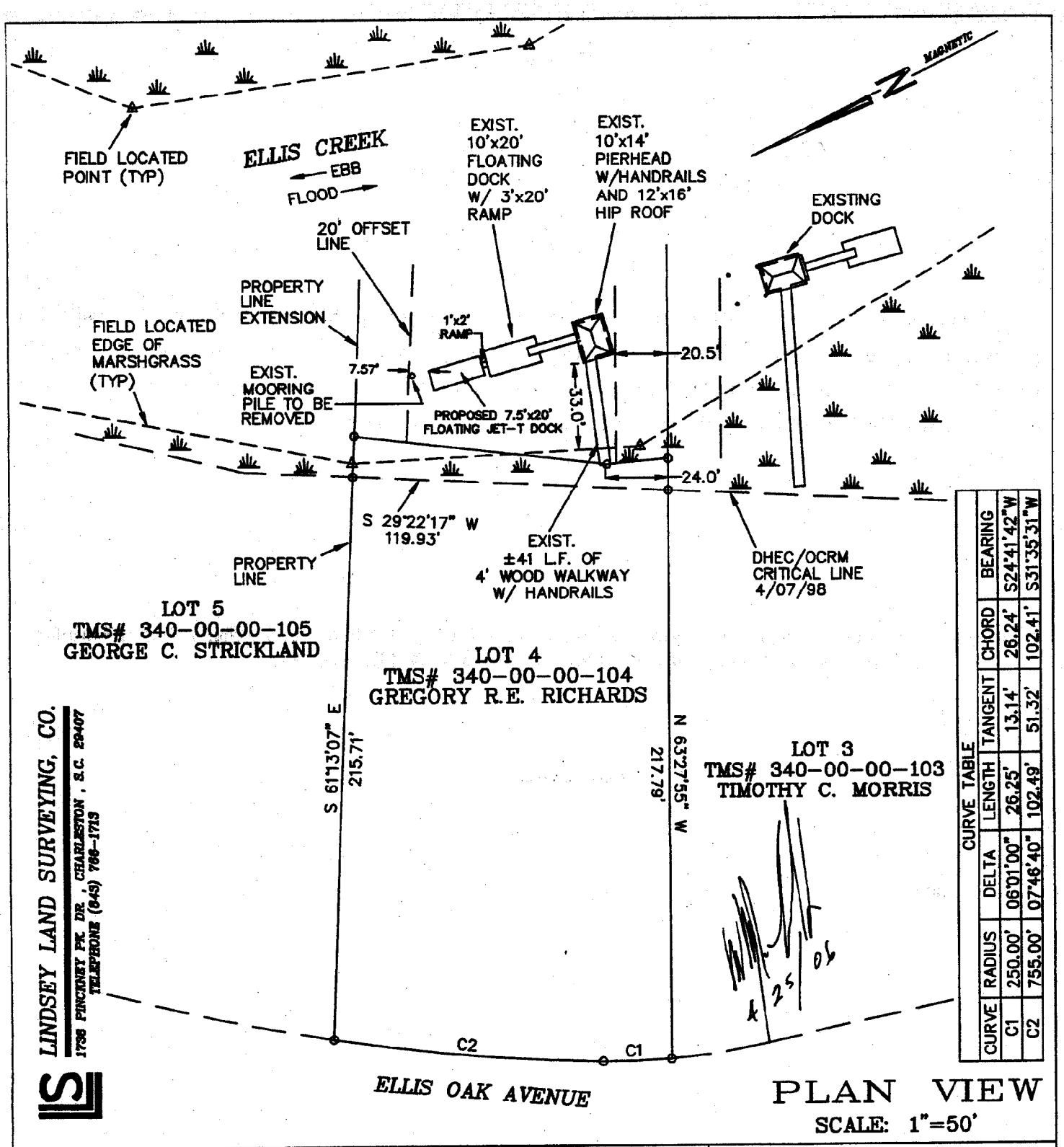
PUBLIC NOTICE
Amendment

The permittee for **P/N# OCRM-02-078-M, Richards Gregory** has requested an amendment to that issued permit. The applicant proposes to modify an existing dock. Specifically, replace the previously approved four-pile boatlift with a 150 square foot jet dock to be attached to the floating dock. The proposed amendment is for changes to a private recreational dock on Ellis Creek, at 676 Ellis Oaks Dr., Charleston, Charleston County, South Carolina.

Comments will be received on this amendment request until May 29, 2006. For further information please contact the project manager for this activity, Melissa Rada, 843-747-4323 ext. 122.

May 19, 2006

SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL
Ocean and Coastal Resource Management
Charleston Office • 1362 McMillan Avenue • Suite 400 • Charleston, SC 29405
Phone: (843) 744-5838 • Fax: (843) 744-5847 • www.scdhec.gov



CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	TANGENT	CHORD	BEARING
C1	250.00'	06°01'00"	26.25'	13.14'	26.24'	S24°41'42"W
C2	755.00'	07°46'40"	102.49'	51.32'	102.41'	S31°35'31"W

APPLICANT: GREGORY R.E. RICHARDS	LOCATION: ELLIS OAKS LOT 4 PARCEL D CITY OF CHARLESTON CHARLESTON COUNTY SOUTH CAROLINA	ADJACENT PROPERTY OWNERS:
ACTIVITY: *AMENDMENT FOR EXISTING DOCK* (TO ADD A JET SKI DOCK)	DATE: *APRIL 25, 2006*	TMS# 340-00-00-103 TIMOTHY C. MORRIS TMS# 340-00-00-105 GEORGE C. STRICKLAND
P/N# *02-078M*		

LINDSEY LAND SURVEYING, CO.
1736 PINCKNEY PK DR. , CHARLESTON , S.C. 29407
TELEPHONE (843) 766-1713

RECEIVED
MAY 12 2006
DHEC-OCRM
CHARLESTON OFFICE

APPLICANT: GREGORY R.E. RICHARDS

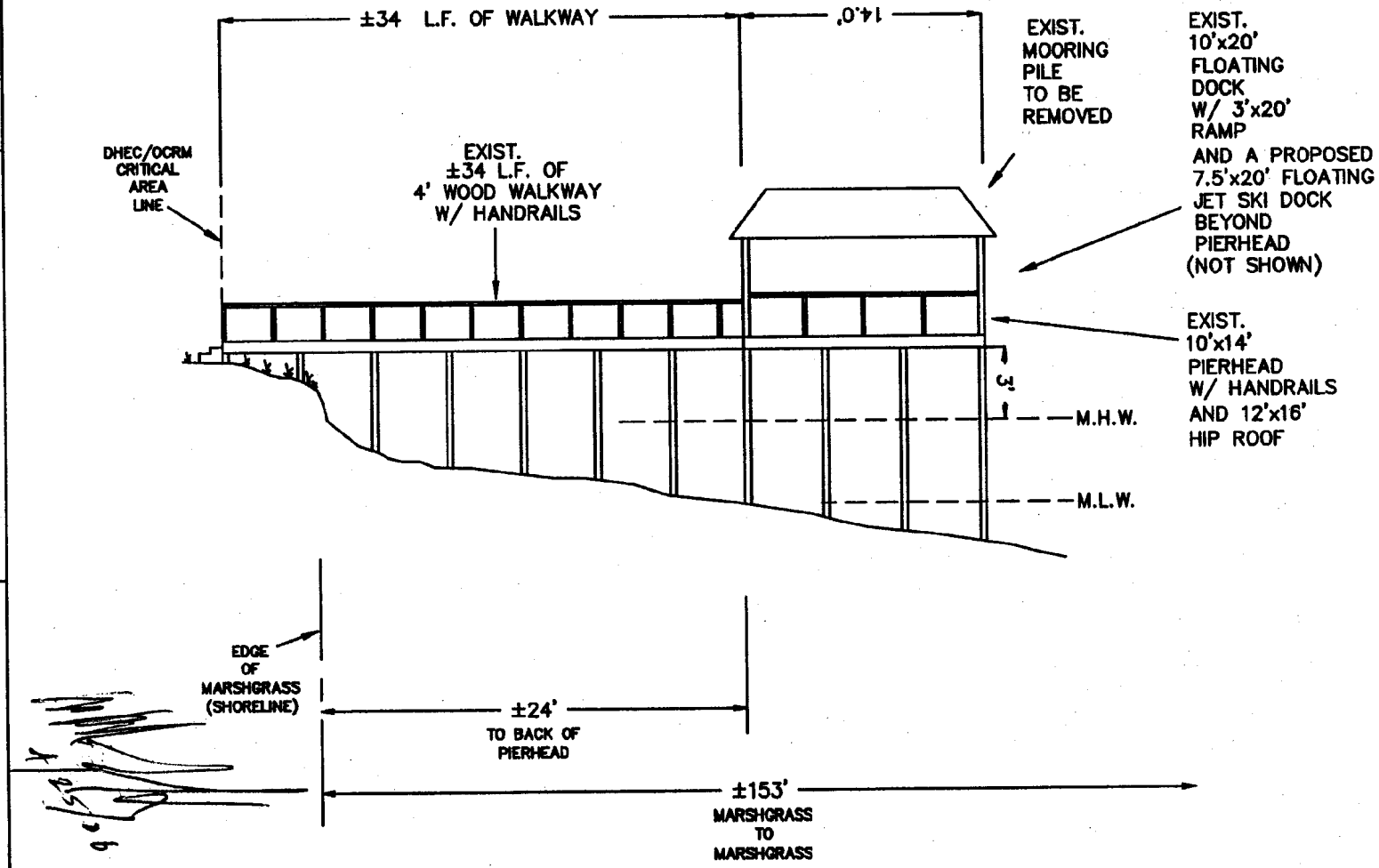
ACTIVITY: *AMENDMENT FOR EXISTING DOCK* (TO ADD A JET SKI DOCK)

P/N# 02-078M

LOCATION: ELLIS OAKS
LOT 4 PARCEL D
CITY OF CHARLESTON
CHARLESTON COUNTY
SOUTH CAROLINA

DATE: APRIL 25, 2006

ADJACENT PROPERTY OWNERS:
TMS# 340-00-00-103
TIMOTHY C. MORRIS
TMS# 340-00-00-105
GEORGE C. STRICKLAND



CROSS SECTION
(NOT TO SCALE)

South Carolina Department of Health and Environmental Control
Office of Ocean and Coastal Resource Management
CRITICAL AREA PERMIT

Permittee(s): **Alan M. Tanenbaum**

Permit Number(s): **OCRM-02-078-M**

Date of Issuance: **May 17, 2002**

Expiration Date: **May 17, 2007**

SEE SPECIAL CONDITION(S)

Location: **Lot 4, Ellis Oaks Ave., Ellis Oaks Subdivision**
James Island, Charleston County, South Carolina
James Island Creek

This permit is issued under the provisions of S. C. Code Ann. Section 48-39-10, *et. seq.*, and R.30-1 through R.30-20. Please carefully read the project description and any Special Conditions that may appear on this permit/certification as they will affect the work which is allowed. If there are no Special Conditions, then the work is authorized as described in the project description. The general conditions are also a part of this permit/certification and should be read in their entirety. The S. C. Contractor's Licensing Act of 1999, enacted as Section 40-11-5 through 430, requires that all construction with a total cost of $5,000 or more be performed by a licensed contractor with a valid contractor's license for marine class construction, except for construction performed by a private landowner for strictly private purposes.

DESCRIPTION OF THE PROJECT

The plans submitted by you, attached hereto, show the work consists of the following: The work as proposed, and shown n the attached plans consists of removing and replacing an existing dock. The applicant proposes to remove an existing dock and replace it with a 4' by 48' walkway with handrails leading to a 10' by 14' covered fixed pierhead, also with handrails. On the downstream side of the proposed pierhead a ramp will lead to a 10' by 20' floating dock. The applicant also proposes to install a 12' by 12' four pile boatlift on the upstream side of the proposed fixed pierhead. The purpose of the described activity is for the applicant's private, recreational use.

SPECIAL CONDITIONS

1. Provided all applicable conditions of the approved Dock Master Plan for Ellis Oaks Subdivision as they apply to this lot are incorporated into the dock's construction.

2. Provided this dock, any boat moored to this dock or any boat resting in the boatlift does not impede or unduly restrict navigation at any stage of the tide cycle.

3. Provided all portions of the dock are constructed as to remain a minimum of 20' from the adjoining extended property line.

4. Provided no portion of the pierhead is enclosed.

5. Provided the proposed floating dock is located in such a manner so as to minimize disturbance to shellfish resources. Direct encroachment on any shellfish beds should be avoided.

6. Provided the proposed pierhead roof is constructed as a HIP style roof. No part of the roof or attached structures including, but not limited to, dormers and copulas, may exceed 15 feet above mean high water.

7. Provided that the handrails meet(s) the requirement for safety, however, the height must not exceed 36" above the walkway and/or pierhead decking.

8. Provided that if archaeological or paleontological remains are encountered prior to or during construction, we request that work stop and the State Historic Preservation Office be notified at 803-734-8615. If these materials include any underwater archaeological or paleontological remains the permittee should also notify the SC Institute of Archaeology and Anthropology at 803-777-8170 pursuant to SC Code of Laws 54-7-400, et seq. Archaeological remains consist of any materials made or altered by man which remain from past historic or prehistoric times (i.e., older than 50 years). Examples include old pottery fragments, metal, wood, arrowheads, stone implements or tools, human burials, historic docks, structures or nonrecent (i.e., older than 100 years) vessels ruins. Paleontological remains consist of old animals remains, original or fossilized, such as teeth, tusks, bone or entire skeletons.

PERMITTEE'S ATTENTION IS DIRECTED TO GENERAL CONDITIONS NUMBERS FOUR (4) AND FIVE (5). BY ACCEPTANCE OF THIS PERMIT, PERMITTEE IS PLACED ON NOTICE THAT THE STATE OF SOUTH CAROLINA, BY ISSUING THIS PERMIT, DOES NOT WAIVE ITS RIGHTS TO REQUIRE PAYMENT OF A REASONABLE FEE FOR USE OF STATE LANDS AT A FUTURE DATE IF SO DIRECTED BY STATUTE.

THE PERMITTEE, BY ACCEPTANCE OF THIS PERMIT AGREES TO ABIDE BY THE TERMS AND CONDITIONS CONTAINED HEREIN AND TO PERFORM THE WORK IN STRICT ACCORDANCE WITH THE PLANS AND SPECIFICATIONS ATTACHED HERETO AND MADE A PART HEREOF. ANY DEVIATION FROM THESE CONDITIONS, TERMS, PLANS AND SPECIFICATIONS SHALL BE GROUNDS FOR REVOCATION, SUSPENSION OR MODIFICATION OF THIS PERMIT AND THE INSTITUTION OF SUCH LEGAL PROCEEDINGS AS THE DEPARTMENT MAY CONSIDER APPROPRIATE.

CAUTION: Section 48-39-150(D) allows any person adversely affected by the issuance of this permit to appeal the decision by filing a written Notice of Intent to Appeal within 15 days after notification of the permit's issuance. In the event of an appeal, the Department reserves the right to order a stay of any use or activity authorized herein pending a final decision, when, in the judgement of the Department, the interests of the public would be best served. **EFFECTIVE SEPTEMBER 5, 2001**, pursuant to Temporary Amendments of the Rules of the Administrative Law Judge Division, the Division is requiring a $70.00 filing fee to be accompanied with any written request for an appeal of a final agency decision. The written request must be filed with OCRM and a copy, with the $70.00 fee, sent directly to the Division at P.O. Box 11667, Columbia, SC, 29211. The appeal will not be processed by the Division unless the fee is submitted.

Permit Number: **OCRM-02-078-M**

Your signature below, as permittee, indicates that you accept and agree to comply with the terms and conditions of this permit.

Michael Allman for Alan M. Tanenbaum

(PERMITTEE(S))
Alan M. Tanenbaum

5/20/02
(DATE)

This permit becomes effective when the State official, designated to act for the Office of Ocean and Coastal Resource Management, has signed below.

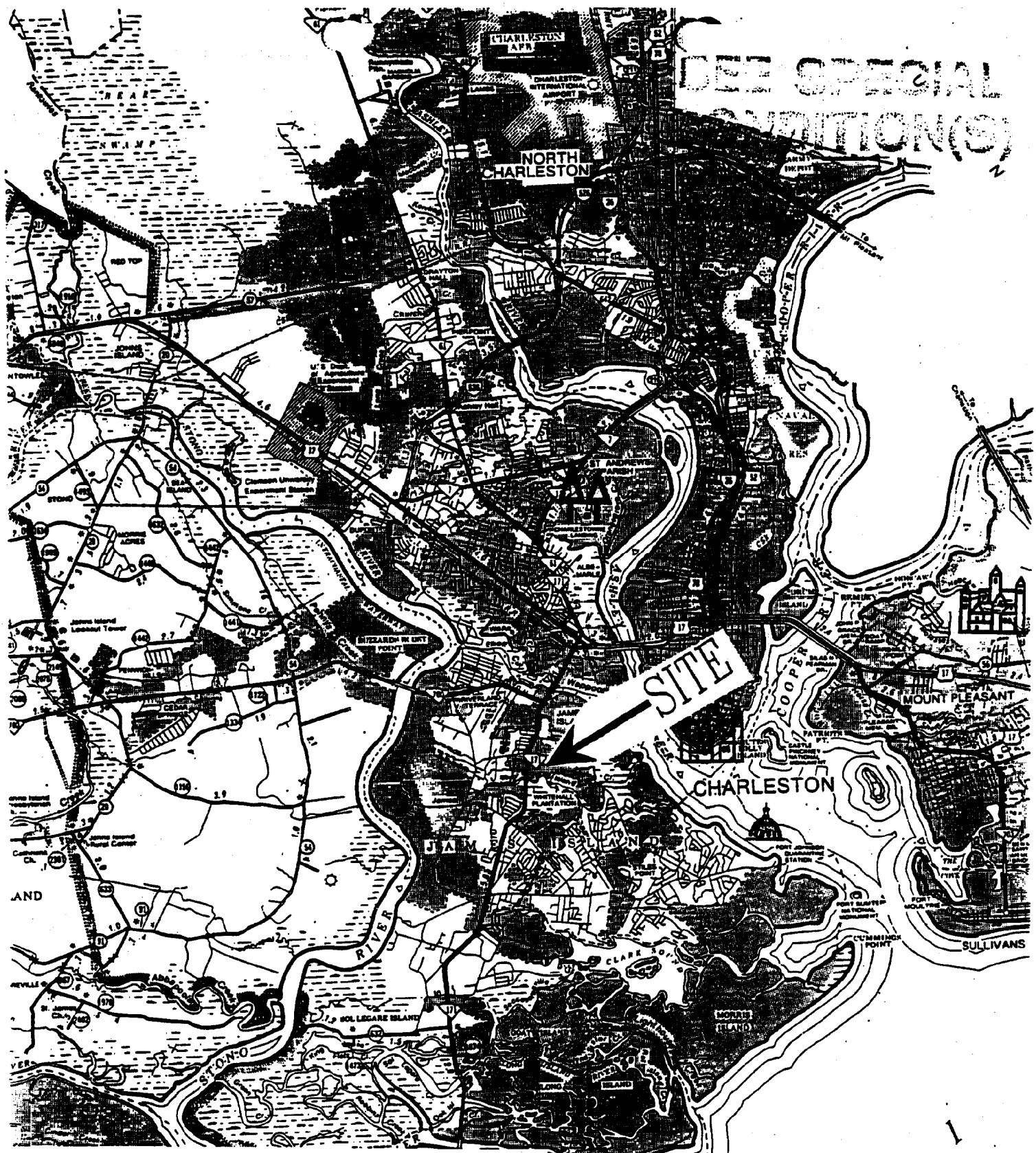
(MANAGER, CRITICAL AREA PERMITTING)
Curtis M. Joyner
Or his Designee
Other Authorized State Official

5/21/02
(DATE)

GENERAL CONDITIONS:

This construction and use permit is expressly contingent upon the following conditions which are binding on the permittee:

1. That the permittee, in accepting this permit, covenants and agrees to comply with and abide by the provisions and conditions herein and assumes all responsibility and liability and agrees to save the South Carolina Coastal OCRM and the State of South Carolina, its employees or representatives, harmless from all claims of damage arising out of operations conducted pursuant to this permit.
2. That if the activity authorized herein is not constructed or completed within five years of the date of issuance, this permit shall automatically expire. A request, in writing, for an extension of time shall be made not less than sixty days prior to the expiration date.
3. That all authorized work shall be conducted in a manner that minimizes any 0dverse impact on fish, wildlife and water quality.
4. That this permit does not relieve the permittee from the requirements of obtaining a permit from the U. S. Army Corps of Engineers or any other applicable federal agency, nor from the necessity of complying with all applicable local laws, ordinances, and zoning regulations. This permit is granted subject to the rights of the State of South Carolina in the navigable waters and shall be subject, further to all rights held by the State of South Carolina under the public trust doctrine as well as any other right the State may have in the waters and submerged lands of the coast.
5. That this permit does not convey, expressly or impliedly, any property rights in real estate or material nor any exclusive privileges; nor does it authorize the permittee to alienate, diminish, infringe upon or otherwise restrict the property rights of any other person or the public; nor shall this permit be interpreted as appropriating public properties for private use.
6. That the permittee shall permit the OCRM or its authorized agents or representatives to make periodic inspections at any time deemed necessary in order to ensure that the activity being performed is in accordance with the terms and conditions of this permit.
7. That any abandonment of the permitted activity will require restoration of the area to a satisfactory condition as determined by the OCRM.
8. That this permit may not be transferred to a third party without prior written notice to the OCRM, either by the transferee's written agreement to comply with all terms and conditions of this permit or by the transferred subscribing to this permit and thereby agreeing to comply.
9. That if the display of lights and signals on any structure or work authorized herein is not otherwise provided for by law, such lights and special signals as may be prescribed by the United States Coast Guard shall be installed and maintained by and at the expense of the permittee.
10. That the permit placard or a copy of the placard shall be posted in a conspicuous place at the project site during the entire period of work.
11. That the structure or work authorized herein shall be in accordance with the plans and drawing attached hereto, and shall be maintained in good condition. Failure to build in accordance with the plans and drawings attached hereto, or failure to maintain the structure in good condition shall result in the revocation of this permit.
12. That the authorization for activities or structures herein constitutes a revocable license. The OCRM may require the permittee to modify activities or remove structures authorized herein if it is determined by the OCRM that such activity or structures violates the public's health, safety, or welfare, or if any activity is inconsistent with the public trust doctrine. Modification or removal under this condition shall be ordered only after reasonable notice stating the reasons therefore and provision to the permittee of the opportunity to respond in writing. When the Permittee is notified that OCRM intends to revoke the permit, Permittee agrees to immediately stop work pending resolution of the revocation.
13. That the OCRM shall have the right to revoke, suspend, or modify this permit in the event it is determined the permitted structure (1) significantly impacts the public health, safety and welfare, and/or is violation of Section 48-39-150, (2) adversely impacts public rights, (3) that the information and data which the permittee or any other agencies have provided in connection with the permit application is either false, incomplete or inaccurate, or (4) that the activity is not in compliance with the drawings submitted by the applicant. That the permittee, upon receipt of the Coastal OCRM's written intent to revoke, suspend, or modify the permit has the right to a hearing. Prior to revocation, suspension, or modification of this permit, the OCRM shall provide written notification of intent to revoke to the permittee, and permittee can respond with a written explanation to the OCRM. (South Carolina Code Section 1-023-370 shall govern the procedure for revocation, suspension or modification herein described).
14. That any modification, suspension or revocation of this permit shall not be the basis of any claim for damages against the OCRM or the State of South Carolina or any employee, agent, or representative of the Coastal OCRM or the State of South Carolina.
15. That all activities authorized herein shall, if they involve a discharge or deposit into navigable waters or ocean waters, be at all times consistent with all applicable water quality standards, effluent limitations and standards of performance, prohibitions, and pretreatment standards established pursuant to applicable federal, state and local laws.
16. That extreme care shall be exercised to prevent any adverse or undesirable effects from this work on the property of other. This permit authorizes no invasion of adjacent of private property, and OCRM assumes no responsibility or liability from any claims of damage arising out of any operations conducted by the permittee pursuant to this permit.



ELEVATION VIEW

LOT 4 ELLIS OAK DRIVE
JAMES ISLAND, SC

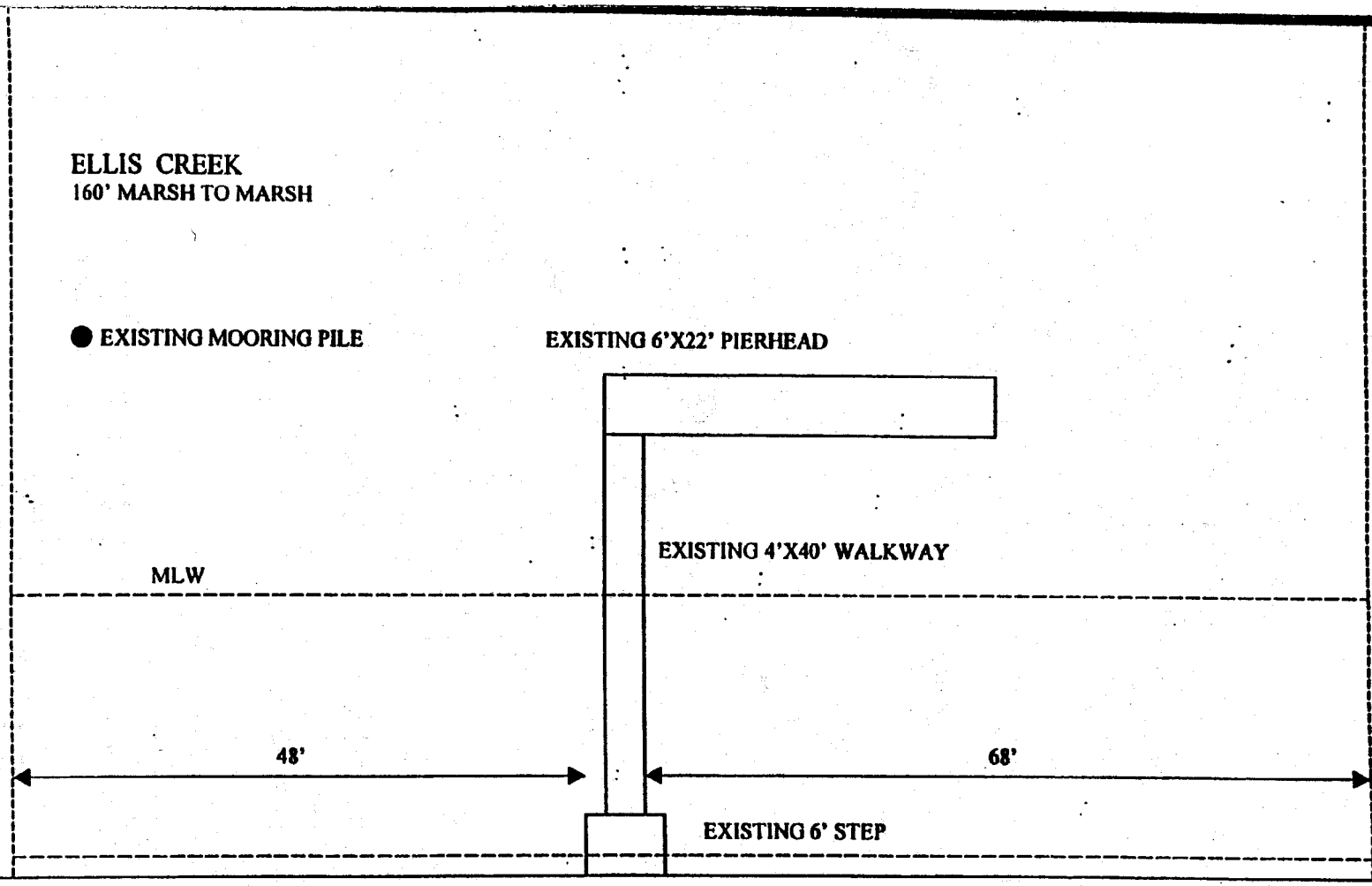
ADJACENT PROPERTY OWNERS
1. CUSTIS BYARS
2. ELLIS INVESTMENTS

5 of 8

FEBRUARY, 2002

NOT TO SCALE

PROPOSED ACTIVITY
CONSTRUCT DOCK & BOATLIFT
COUNTY
CHARLESTON
APPLICANT
ALAN M. TANENBAUM
OCRM-02-078-M



EXISTING DOCK TO BE REMOVED
LOT 4 ELLIS OAKS DRIVE
JAMES ISLAND, SC

PROPERTY OWNER:
ALAN M. TANENBAUM

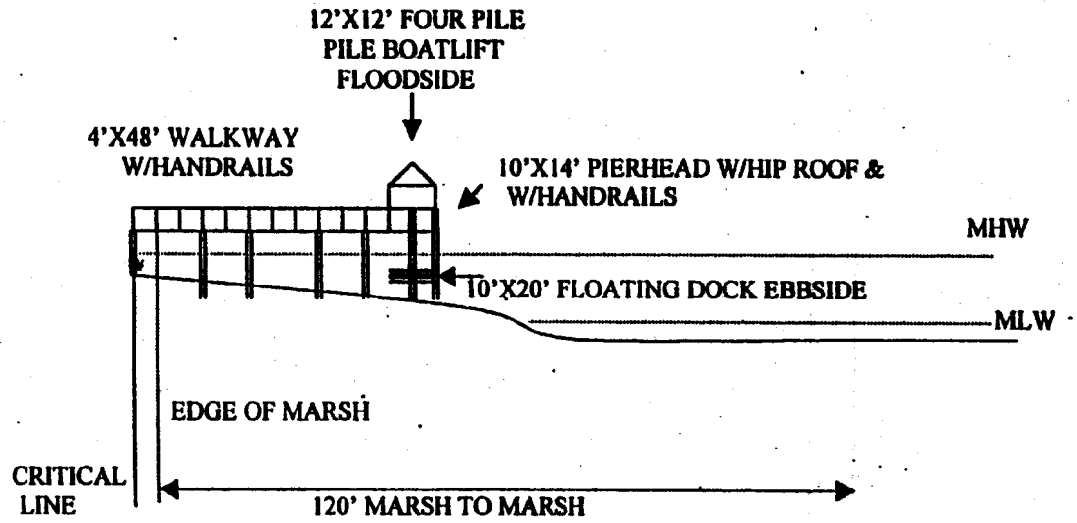
OCRM-02-078-M

FEBRUARY, 2002

NOT TO SCALE

PROPOSED ACTIVITY
CONSTRUCT DOCK & BOATLIFT
COUNTY
CHARLESTON
APPLICANT
ALAN M. TANENBAUM
OCRM-02-078-M

ELLIS CREEK
JAMES ISLAND, SC



SEE SPECIAL CONDITIONS

ELEVATION VIEW

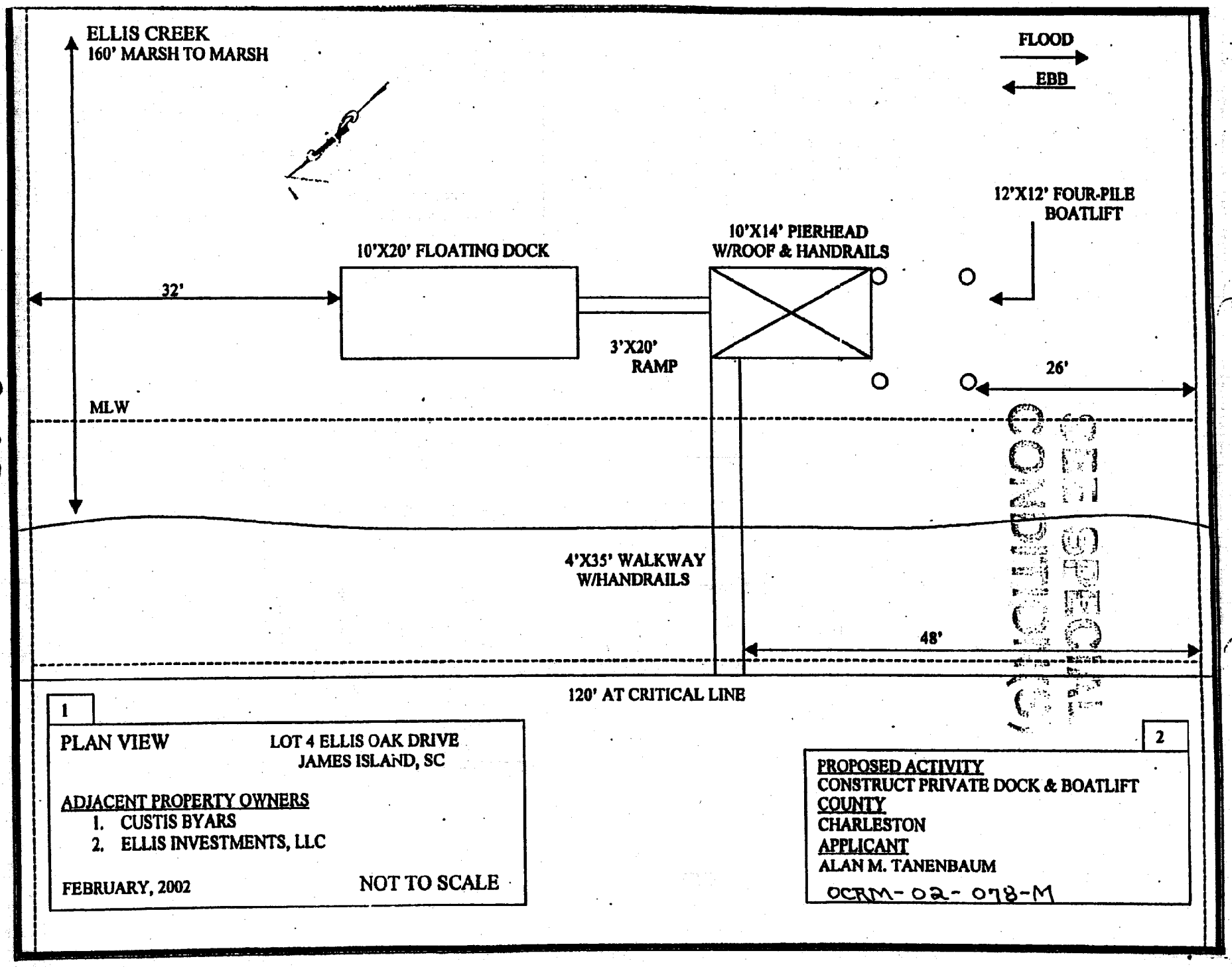
LOT 4 ELLIS OAK DRIVE
JAMES ISLAND, SC

ADJACENT PROPERTY OWNERS
1. CUSTIS BYARS
2. ELLIS INVESTMENTS

FEBRUARY, 2002

NOT TO SCALE

PROPOSED ACTIVITY
CONSTRUCT DOCK & BOATLIFT
COUNTY
CHARLESTON
APPLICANT
ALAN M. TANENBAUM
OCRM-02-078-M



D H E C

PROMOTE PROTECT PROSPER

C. Earl Hunter, Commissioner

Promoting and protecting the health of the public and the environment.

Notification of Public Notice

Enclosed are public notices issued by the SCDHEC Office of Ocean and Coastal Resource Management. All interested parties are allowed 30 days for major developments and 15 days for minor developments after receipt of the public notices to file written comments to the OCRM pertaining to the applications. Only those comments received within this period must be reviewed by the OCRM in processing the permit application. Any person wishing notification of the initial OCRM decision on any specific public notice must make written request within the designated review period for that public notice.

APPLICANT	PUBLIC NOTICE NUMBER	SUSPENSE DATE
Martha Fogle	OCRM-06-114-M	June 3, 2006
William Baynard	OCRM-06-117-M	June 3, 2006
Stanley Whitman	OCRM-06-120-L	June 3, 2006
Lorraine Stiling	OCRM-06-124-R	June 3, 2006
Steven Phillips	OCRM-06-138-R	June 3, 2006
Terry Forbes	OCRM-06-140-R	June 3, 2006
Edwin T. Hill	OCRM-06-145-M	June 3, 2006
Lincoln Grooms	OCRM-06-146-M	June 3, 2006
Danny Lyons	OCRM-06-147-M	June 3, 2006
Trenchards Island, Inc.	OCRM-06-149-G	June 3, 2006
Scott Bradley	OCRM-06-150-R	June 3, 2006
Stonebridge Development	OCRM-06-151-L	June 3, 2006
Charles Cox	OCRM-06-516	June 3, 2006
William Wood	OCRM-06-526	June 3, 2006
Archie B. Howell	OCRM-06-527	June 3, 2006
Gary L. Rowe	OCRM-06-891	June 3, 2006
Allan Rae	OCRM-06-892	June 3, 2006

May 19, 2006

OUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL
Ocean and Coastal Resource Management
Charleston Office • 1362 McMillan Avenue • Suite 400 • Charleston, SC 29405
Phone: (843) 744-5838 • Fax: (843) 744-5847 • www.scdhec.gov

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM-06-114-M
Permit ID: 54619

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: Martha Fogle
C/O American Dock & Marine
1533 Folly Rd, D-5
Charleston, SC 29412

LOCATION: On and adjacent to Stono River at 2265 Shoreline Dr, Johns Island, Charleston County, South Carolina.
TMS#: 315-00-00-063.

WORK: The work as proposed and shown on the attached drawings consists of adding a boatlift to an existing structure. The applicant proposes to place a 12' x 12', four-pile boatlift ebbside of the existing floating dock. The work as described is for the applicant's private, recreational use.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006. For further information please contact the project manager for this activity, Fred Mallett at 843-747-4323 ext. 119.

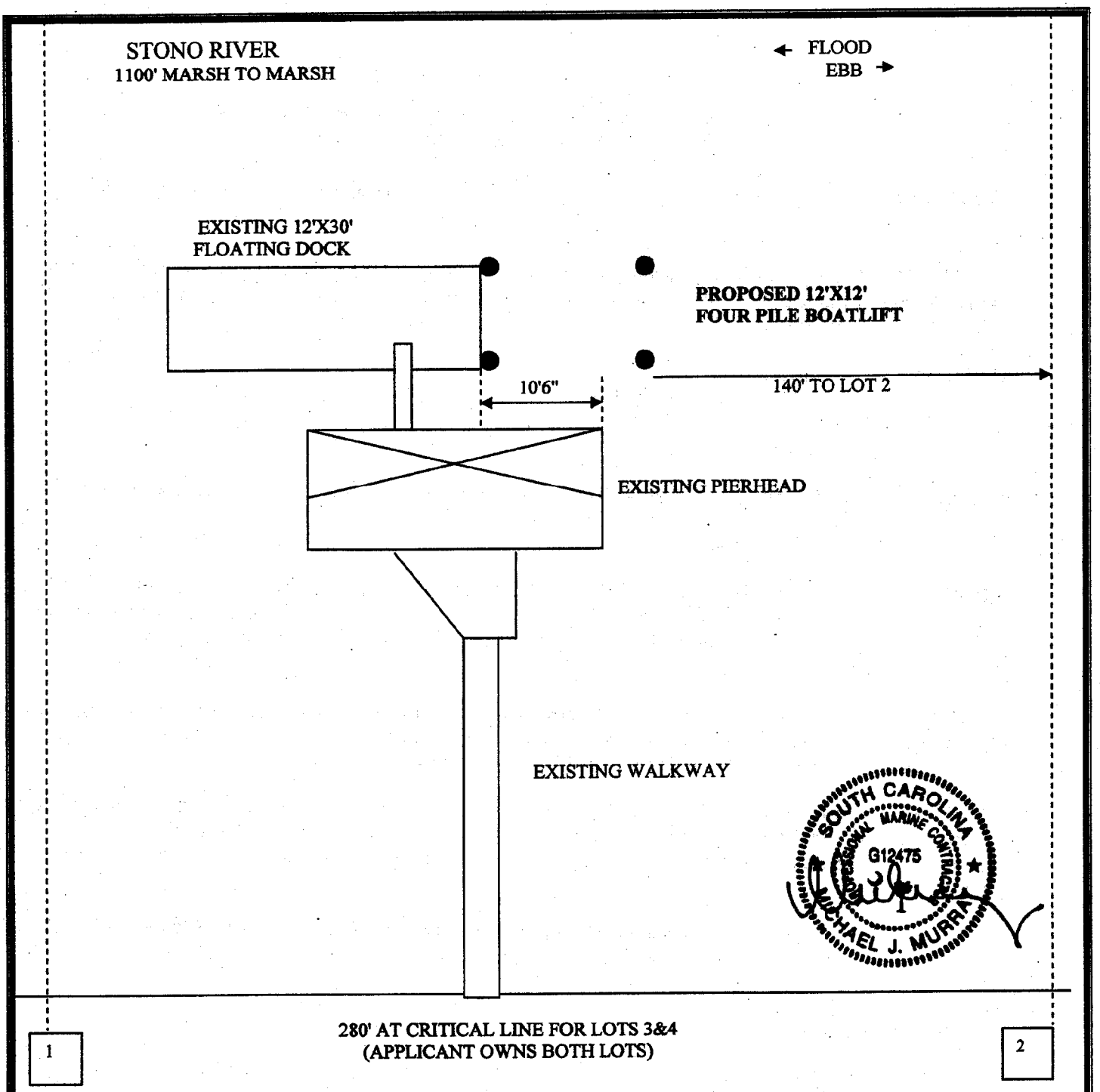
PLEASE REPLY TO:

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
1362 McMillan Avenue, Suite 400
Charleston, South Carolina 29405

Please refer to P/N# OCRM-06-114-M

Tess Rodgers, Regulatory Coordinator

m



PLAN VIEW

2265 SHORELINE DRIVE
JOHNS ISLAND, SC

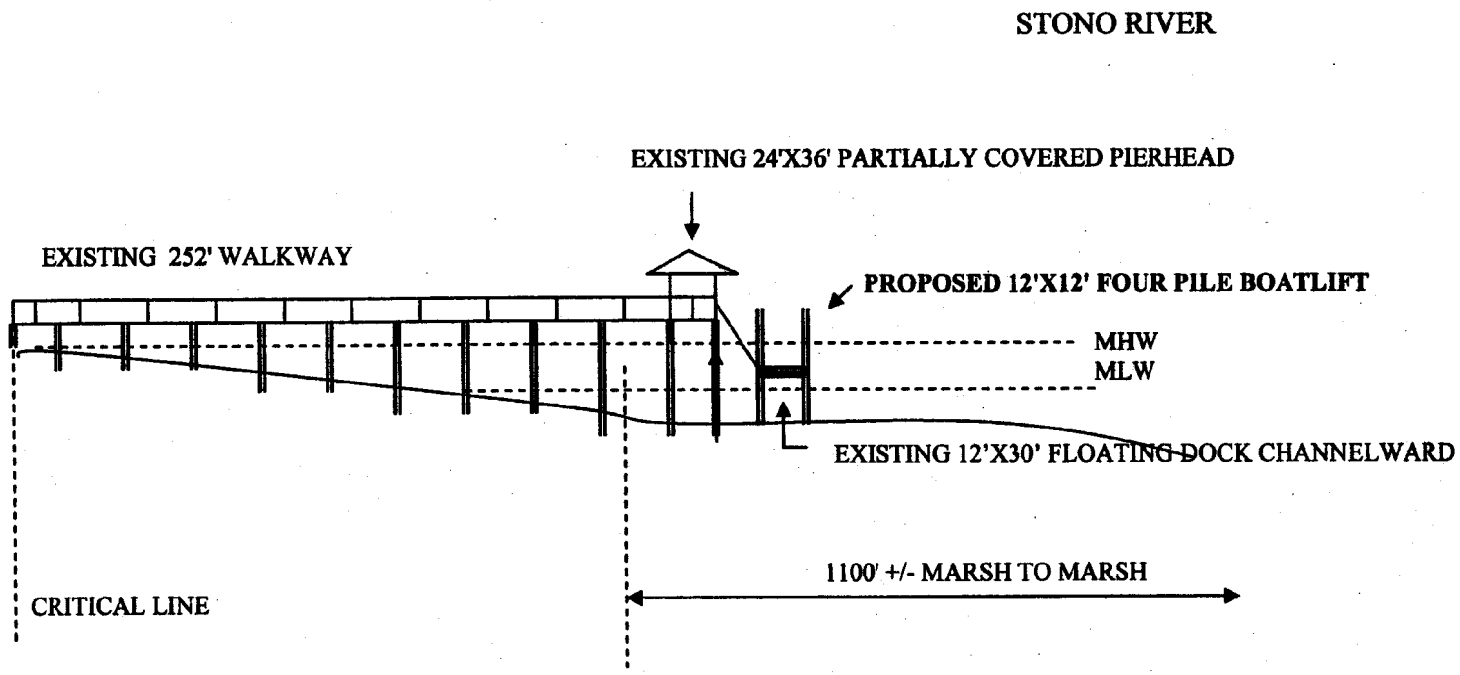
ADJACENT PROPERTY OWNERS
1. V. BRIAN JACKSON
2. JOE & MELODY SLIKER

APRIL, 2006

NOT TO SCALE

PROPOSED ACTIVITY
INSTALL FOUR PILE BOATLIFT
COUNTY
CHARLESTON
APPLICANT
MARTHA L. FOGLE

OCRM P/N OCRM-06-114-M



SOUTH CAROLINA PROFESSIONAL MARINE CONTRACTOR G12475 MICHAEL J. MURRAY

ELEVATION VIEW

2265 SHORELINE DRIVE
JOHNS ISLAND, SC

ADJACENT PROPERTY OWNERS
1. V. BRIAN JACKSON
2. JOE & MELODY SLIKER

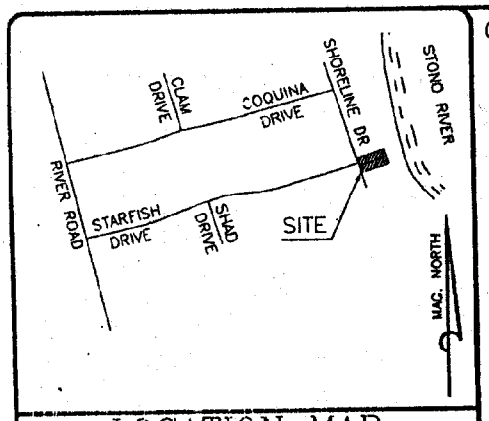
APRIL, 2006

NOT TO SCALE

PROPOSED ACTIVITY
INSTALL FOUR PILE BOATLIFT
COUNTY
CHARLESTON
APPLICANT
MARTHA L. FOGLE

OCRM# OCRM-06-114-M

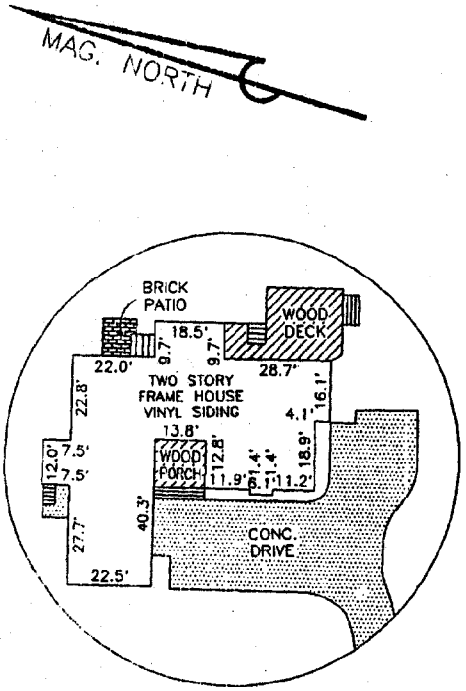
CURVE	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BRG
1	6°52'55"	1168.00	140.29	140.21	70.23 N	15°44'14"W
2	0°18'17"	1168.00	6.21	6.21	3.11 N	19°19'50"W



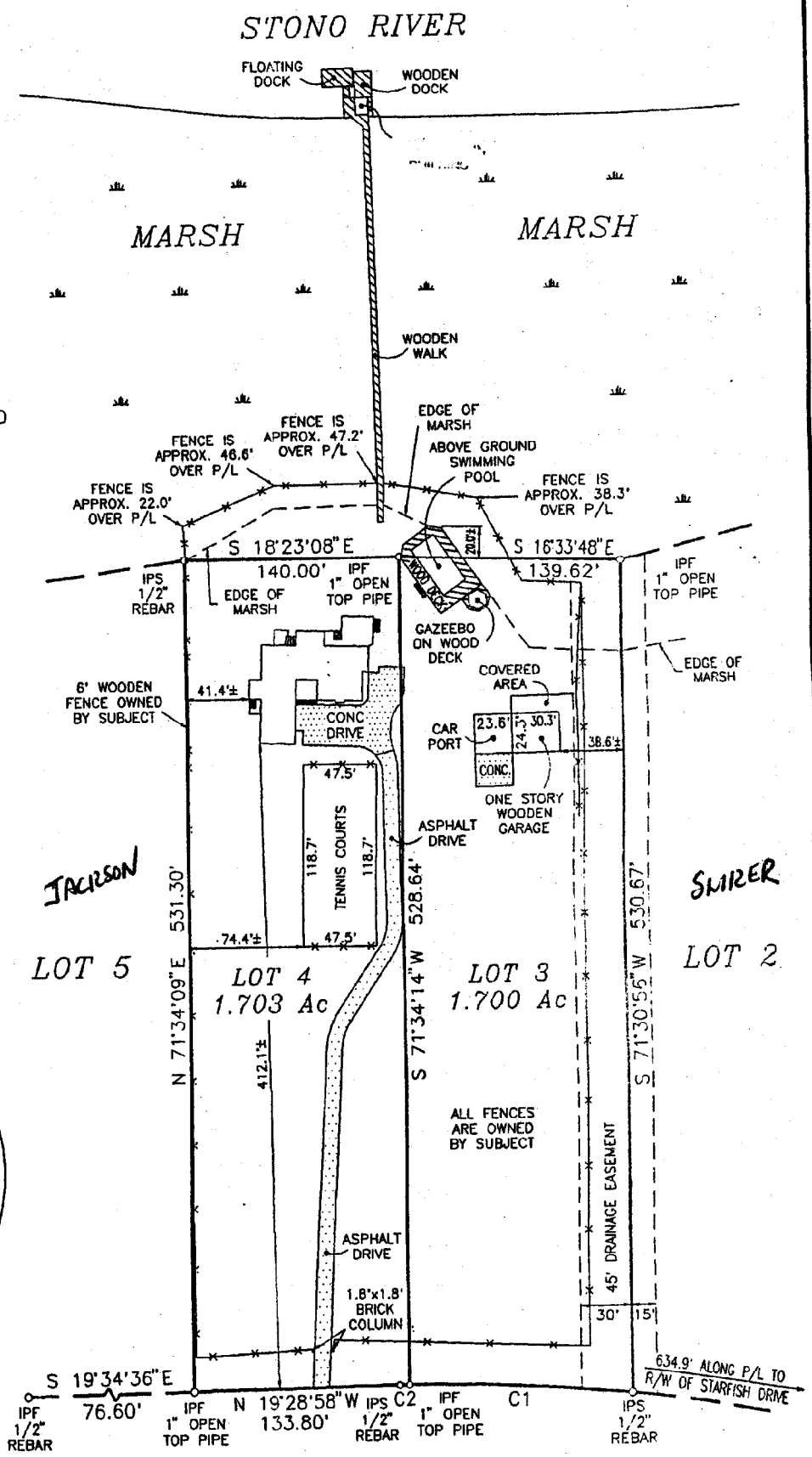
LOCATION MAP
N.T.S.

2265 SHORELINE DRIVE
THIS LOT IS LOCATED IN FLOOD ZONES (V5, EL. 15.00), (V5, EL. 14.00), & (ZONE A5, EL. 14.00).
HOUSE IS LOCATED IN ZONE V5, EL. 15.00
T.M.S. 315-00-00-062. (LOT 3)
T.M.S. 315-00-00-063. (LOT 4)
THE SAME BEING SHOWN AS LOT 3 & LOT 4, BLOCK F, ON A PLAT OF SHORELINE FARMS SUBDIVISION DATED JUNE, 1978 BY ALBERT HEATLEY, JR. AND RECORDED IN THE RMC OFFICE FOR CHARLESTON COUNTY IN PLAT BOOK AL, AT PAGE 73.

LEGEND:
IPF DENOTES IRON PIPE, FOUND
IPS DENOTES IRON PIPE, SET

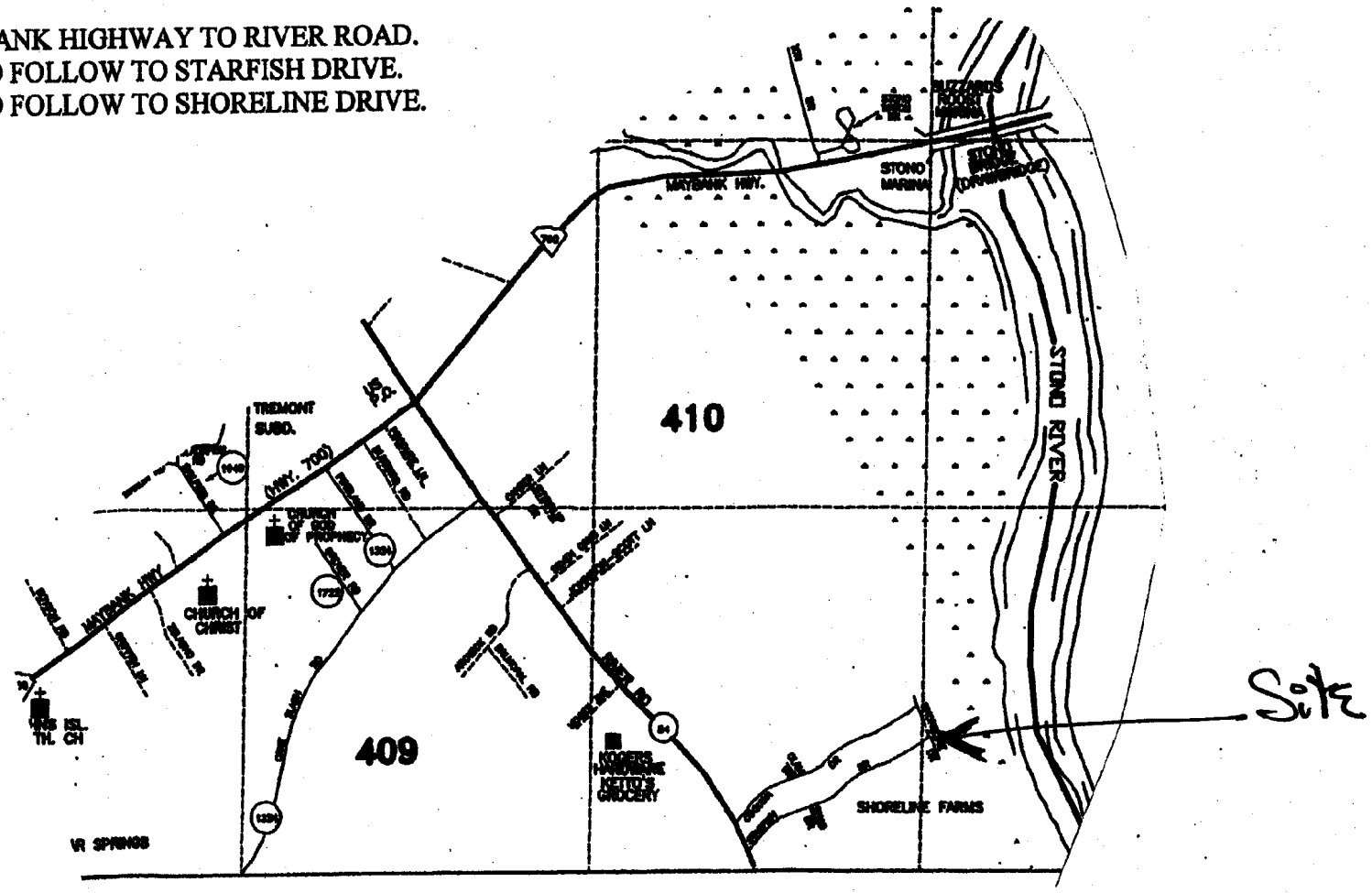


DETAIL
SCALE: 1" = 50'



OCRM-06-114-M

FOLLOW MAYBANK HIGHWAY TO RIVER ROAD.
TURN LEFT AND FOLLOW TO STARFISH DRIVE.
TURN LEFT AND FOLLOW TO SHORELINE DRIVE.



VICINITY MAP 2265 SHORELINE DRIVE
JOHNS ISLAND, SC

ADJACENT PROPERTY OWNERS
1. V. BRIAN JACKSON
2. JOE & MELODY SLIKER

APRIL, 2006 NOT TO SCALE

PROPOSED ACTIVITY
INSTALL A FOUR PILE BOATLIFT
COUNTY
CHARLESTON
APPLICANT
MARTH L. FOGLE

OCRM P/N OCRM-06-114-M

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM-06-117-M
Permit ID: 54630

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: William Baynard
C/O Robert Frank
1923 Maybank Hwy.
Charleston, SC 29412

LOCATION: On and adjacent to Bailey Creek at 8649 Raccoon Island Road, Edisto Island, Charleston County, South Carolina.
TMS#: 012-00-00-012.

WORK: The work as proposed and shown on the attached plans consists of constructing a dock. Specifically, the structure will have a 4' by 57' walkway leading to a 14' by 14' covered fixed pierhead, both with handrails. On the downstream side of the pierhead, a ramp will lead to a 10' by 40' floating dock. The applicant also proposes to install a 14' by 14' four-pile boatlift on the upstream side of the fixed pierhead. The purpose of the activity is for the applicant's private recreational use.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006. For further information please contact the project manager for this activity, Fred Mallett at 843-747-4323 ext. 119.

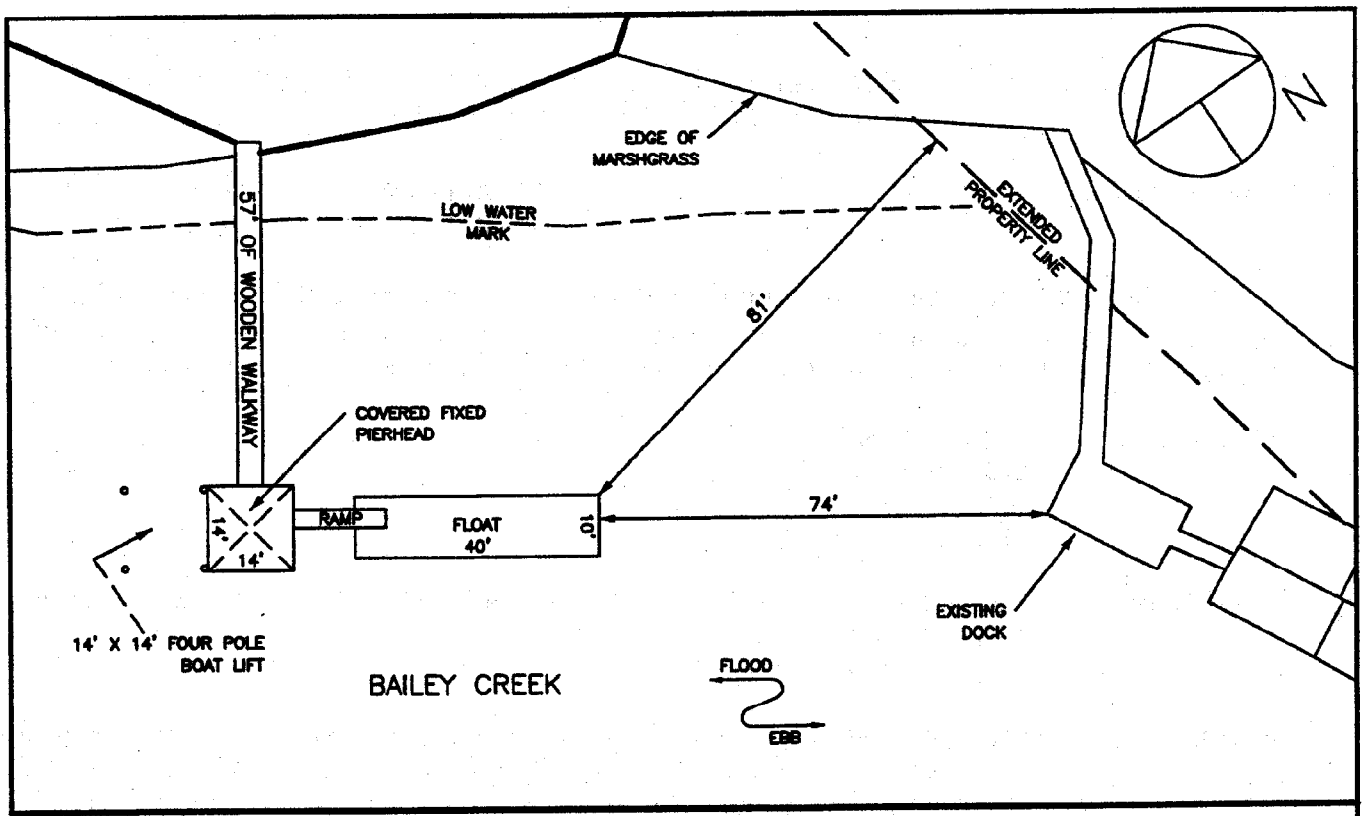
PLEASE REPLY TO:

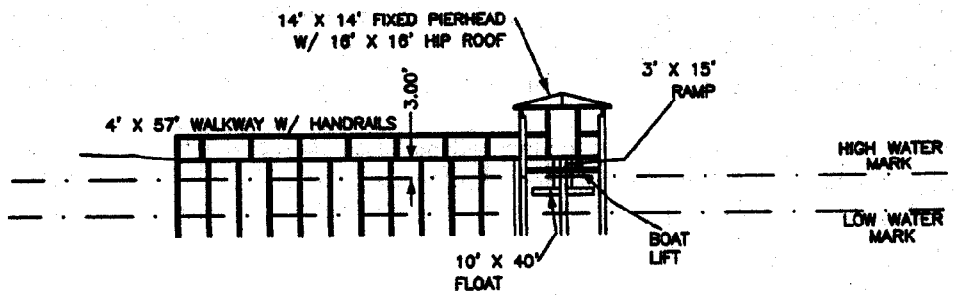
SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
1362 McMillan Avenue, Suite 400
Charleston, South Carolina 29405

Please refer to P/N# OCRM-06-117-M

Tess Roberts, Regulatory Coordinator

m





SOUTH CAROLINA REGISTERED NO. 4177 LAND SURVEYOR ROBERT L. FRANK

GRAPHIC SCALE

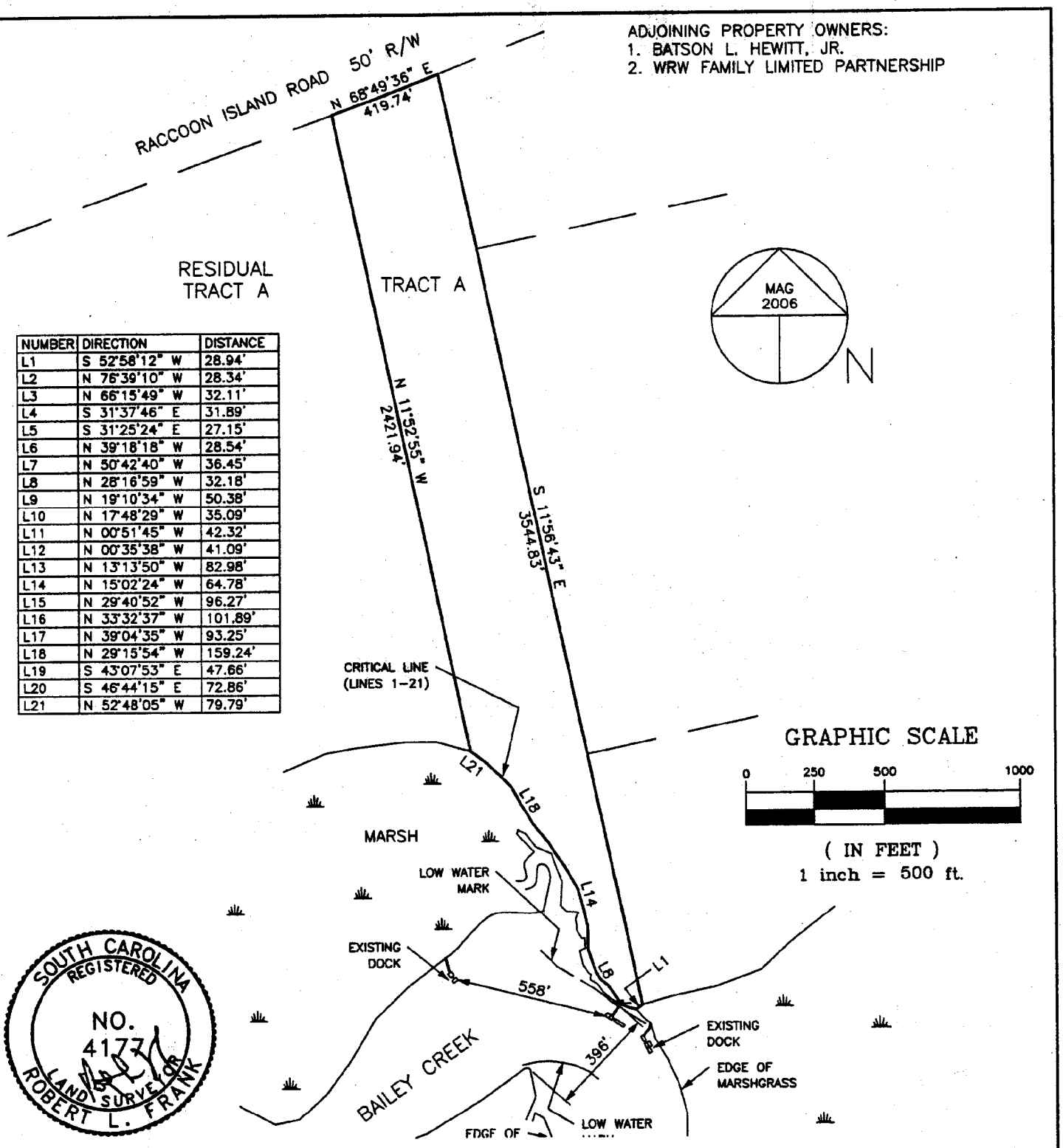
0 15 30 60

(IN FEET)
1 inch = 30 ft.

ADJOINING PROPERTY OWNERS:
1. BATSON L. HEWITT, JR.
2. WRW FAMILY LIMITED PARTNERSHIP

APPLICATION BY: WILLIAM BAYNARD ADDRESS: 8649 RACCOON ISLAND RD. DATE: APRIL 10, 2006 REVISED:	LOCATION A PROPOSED RECREATIONAL DOCK AT 8649 RACCOON ISLAND RD. EDISTO ISLAND CHARLESTON COUNTY SOUTH CAROLINA	SHT. NAME PLAN AND PROFILE OCRM-06-117-M	SHT. NO. 5 OF 5

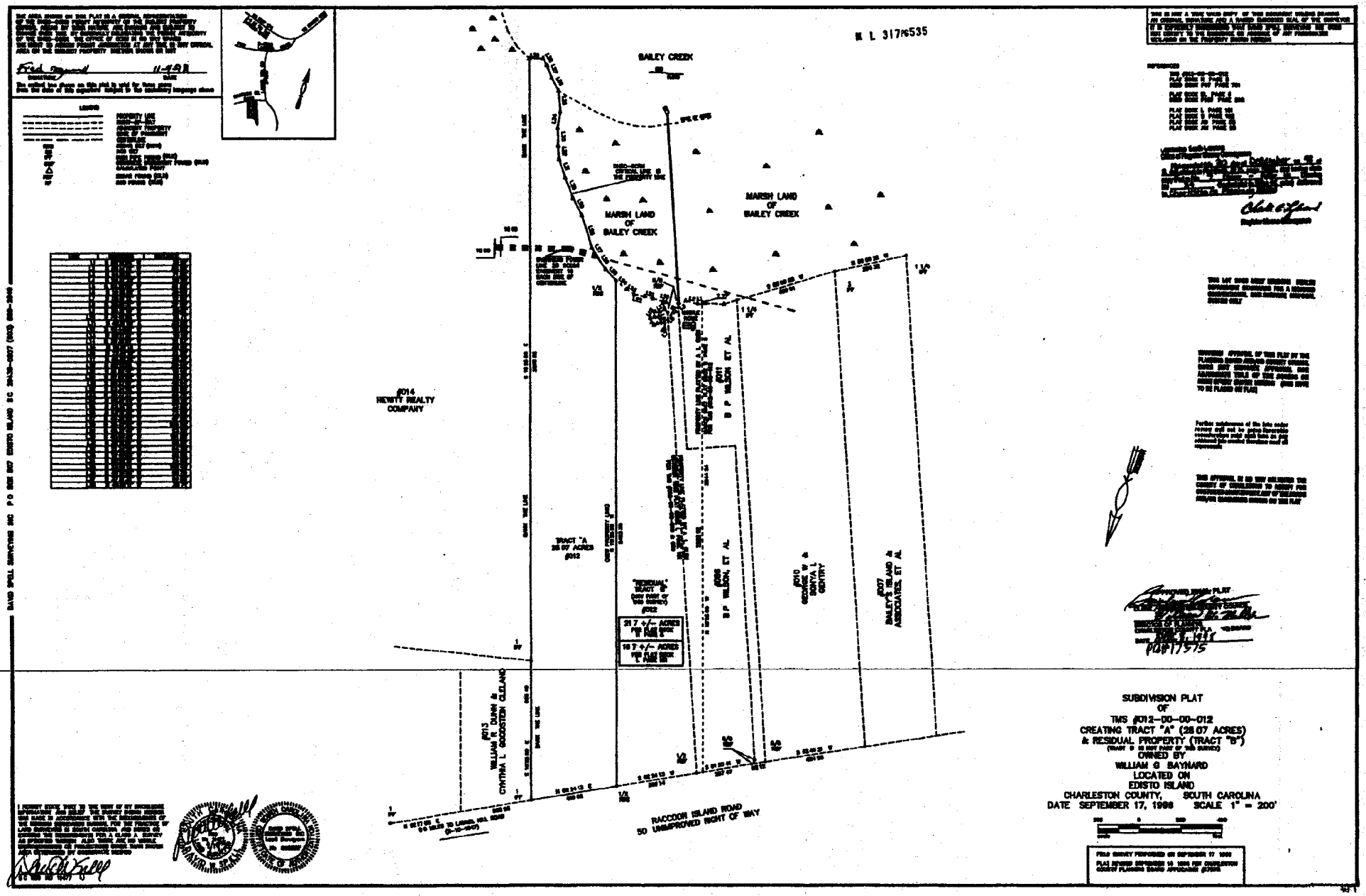
ADJOINING PROPERTY OWNERS:
1. BATSON L. HEWITT, JR.
2. WRW FAMILY LIMITED PARTNERSHIP

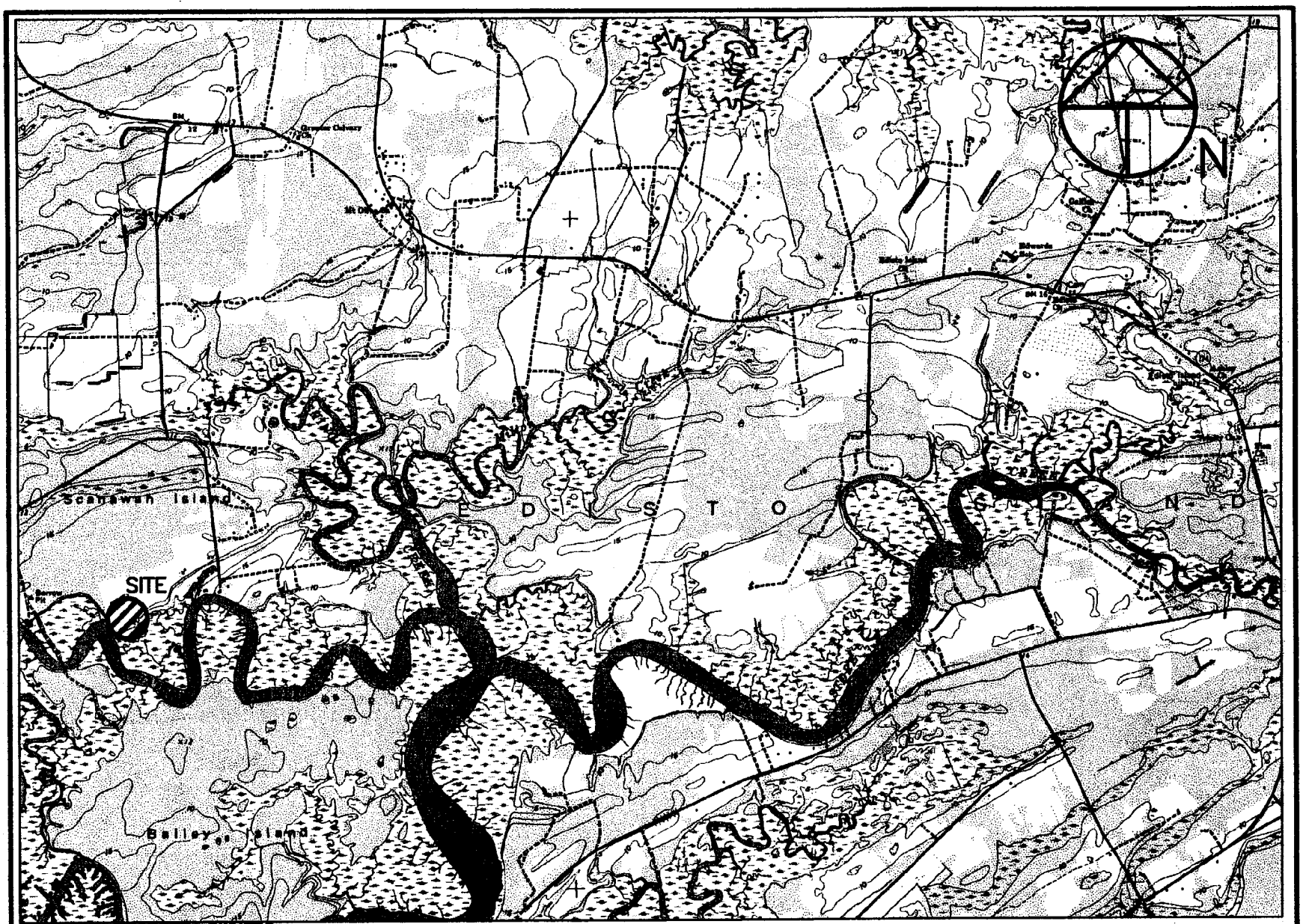


NUMBER	DIRECTION	DISTANCE
L1	S 52°58'12" W	28.94'
L2	N 76°39'10" W	28.34'
L3	N 66°15'49" W	32.11'
L4	S 31°37'46" E	31.89'
L5	S 31°25'24" E	27.15'
L6	N 39°18'18" W	28.54'
L7	N 50°42'40" W	36.45'
L8	N 28°16'59" W	32.18'
L9	N 19°10'34" W	50.38'
L10	N 17°48'29" W	35.09'
L11	N 00°51'45" W	42.32'
L12	N 00°35'38" W	41.09'
L13	N 13°13'50" W	82.98'
L14	N 15°02'24" W	64.78'
L15	N 29°40'52" W	96.27'
L16	N 33°32'37" W	101.89'
L17	N 39°04'35" W	93.25'
L18	N 29°15'54" W	159.24'
L19	S 43°07'53" E	47.66'
L20	S 46°44'15" E	72.86'
L21	N 52°48'05" W	79.79'

SOUTH CAROLINA REGISTERED NO. 4177 LAND SURVEYOR ROBERT L. FRANK

APPLICATION BY: WILLIAM BAYNARD	LOCATION	SHT. NAME	SHT. NO.
ADDRESS: 8649 RACCOON ISLAND RD.	A PROPOSED RECREATIONAL DOCK AT 8649 RACCOON ISLAND RD. EDISTO ISLAND CHARLESTON COUNTY SOUTH CAROLINA	FULL PLAN VIEW	4 OF 5
DATE: APRIL 10, 2006			
REVISED:		OCRM-06-117-M	

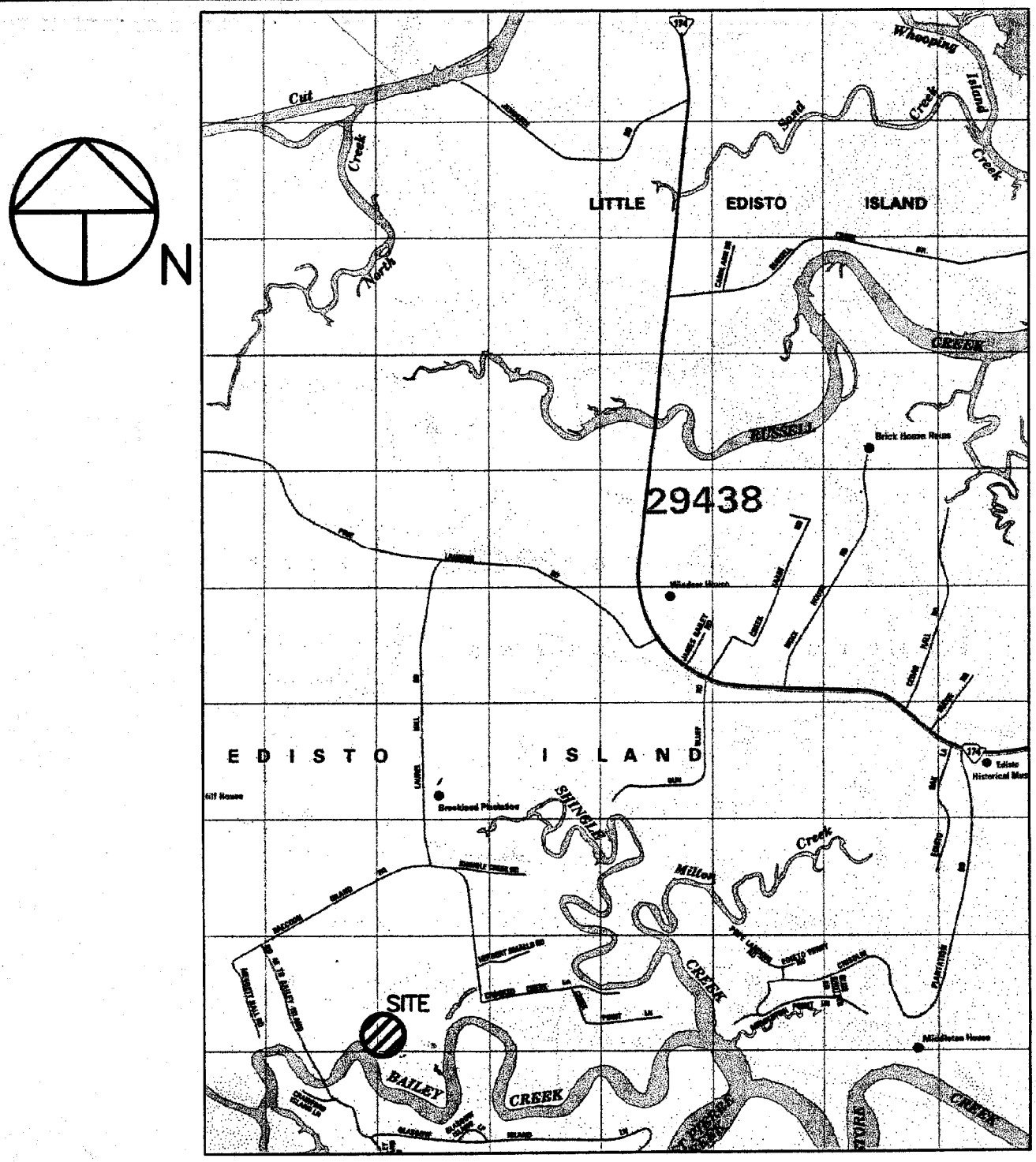

BAILEY CREEK
MARSH LAND OF BAILEY CREEK
MARSH LAND OF BAILEY CREEK
#014 HEWITT REALTY COMPANY
TRACT "A" 28.07 ACRES #012
#013 WILLIAM R. DUNN & CYNTHIA L. GOODSTEIN CLELAND
#011 B P WILSON, ET AL
#009 B P WILSON, ET AL
#010 GEORGE W. & DORYA L. GENTRY
#007 BAILEY'S ISLAND & ASSOCIATES, ET AL
21.7 +/- ACRES
16.7 +/- ACRES
RACCOON ISLAND ROAD
50' UNIMPROVED RIGHT OF WAY
SUBDIVISION PLAT
OF
TMS #012-00-00-012
CREATING TRACT "A" (28.07 ACRES)
& RESIDUAL PROPERTY (TRACT "B")
OWNED BY
WILLIAM G. BAYNARD
LOCATED ON
EDISTO ISLAND
CHARLESTON COUNTY, SOUTH CAROLINA
DATE SEPTEMBER 17, 1998 SCALE 1" = 200'



ADJOINING PROPERTY OWNERS:
1. BATSON L. HEWITT, JR.
2. WRW FAMILY LIMITED PARTNERSHIP

OCRM-06-117-M

APPLICATION BY: WILLIAM BAYNARD ADDRESS: 8649 RACCOON ISLAND RD. DATE: APRIL 10, 2006 REVISED:	LOCATION A PROPOSED RECREATIONAL DOCK AT 8649 RACCOON ISLAND RD. EDISTO ISLAND CHARLESTON COUNTY SOUTH CAROLINA	SHT. NAME EDISTO ISLAND QUADRANGLE MAP PROJECT LATITUDE/LONGTITUDE: LATITUDE – 32°33'32.7" LONGITUDE – 80°22'05.4" (SCALED)	SHT. NO. 3 OF 5



ADJOINING PROPERTY OWNERS:
1. BATSON L. HEWITT, JR.
2. WRW FAMILY LIMITED PARTNERSHIP

OCRM-06-117-M

APPLICATION BY: WILLIAM BAYNARD ADDRESS: 8649 RACCOON ISLAND RD. DATE: APRIL 10, 2006 REVISED:	LOCATION A PROPOSED RECREATIONAL DOCK AT 8649 RACCOON ISLAND RD. EDISTO ISLAND CHARLESTON COUNTY SOUTH CAROLINA	SHT. NAME LOCATION MAP	SHT. NO. 2 OF 5

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM-06-120-L
Permit ID: 54657

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: Stanley Whitman
PO BOX 42120
Charleston, SC 29423

LOCATION: On and adjacent to Ashley River at 4928 Lambs Rd., North Charleston, Charleston County, South Carolina.
TMS#: 4060200024.

WORK: The work as proposed and shown on the attached plans consists of installing a 12' x 12', 4-pile boat lift and a 3' x 25' catwalk on the flood side of the existing fixed pierhead. The proposed activity is for the property owner's private recreational use.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006. For further information please contact the project manager for this activity, Melissa Rada at 843-747-4323 ext. 122.

PLEASE REPLY TO:

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
1362 McMillan Avenue, Suite 400
Charleston, South Carolina 29405

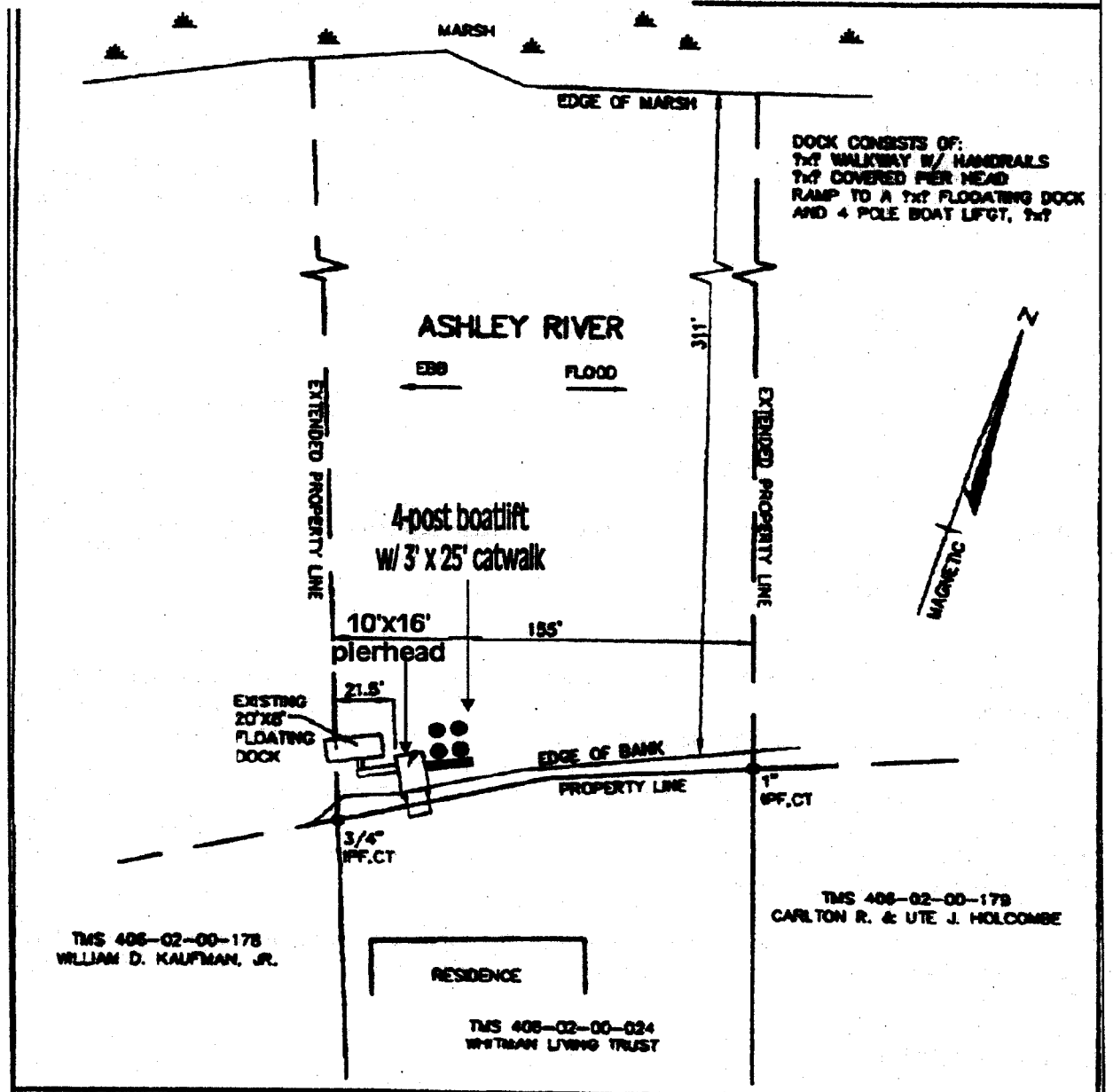
Please refer to P/N# OCRM-06-120-L

Tess Rodgers, Regulatory Coordinator

m

SC Licensed Marine Contractor Jeri Blackwood
SC License #: G11955MR4

p. 2



APPLICANT: WHITMAN LIVING TRUST
4928 LAMBS ROAD
CITY OF N.CHAS.,CHARLESTON COUNTY, SC
TMS# 408-02-00-024
ASHLEY RIVER

OCRM DOCK

PRIVATE
RECREATIONAL DOCK

DECEMBER 20, 2005
SCALE: 1" = 50'

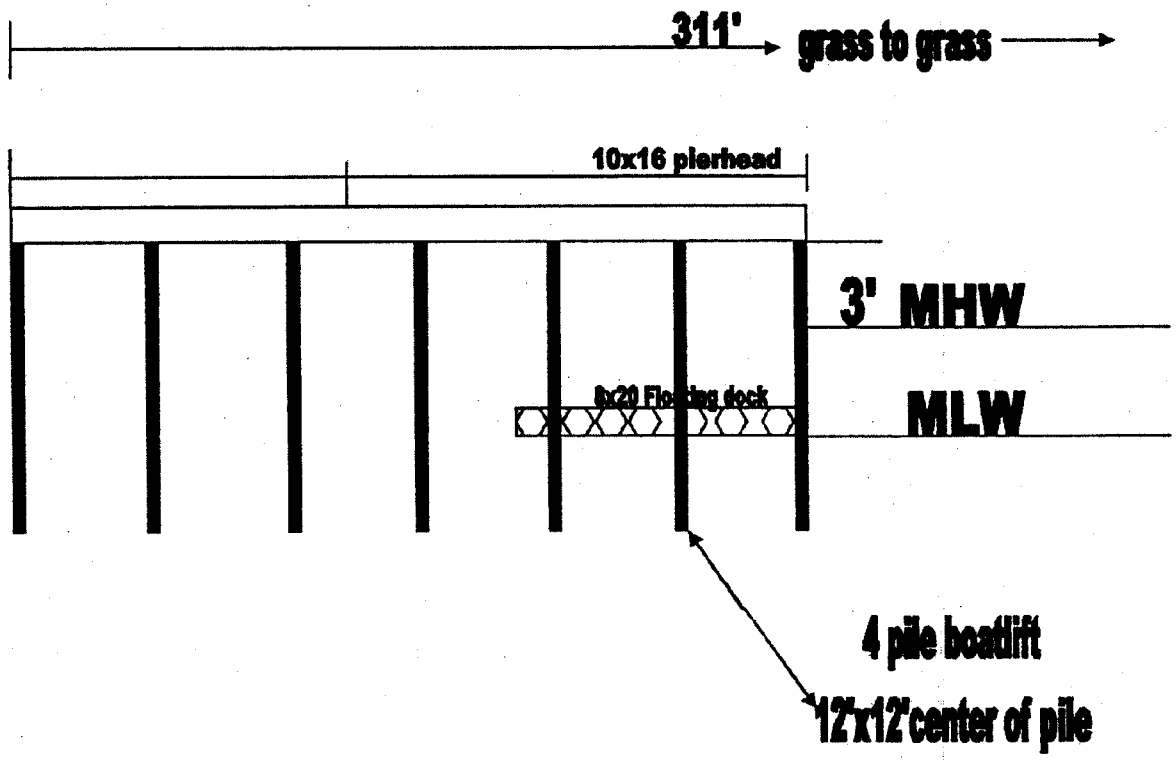
50 25 0 50
SCALE IN FEET

SOUTH CAROLINA
REGISTERED LAND SURVEYOR
No.
10778
THOMAS V. BESSENT

OCRM-06-120-L

SC Licensed Marine Contractor
SC License #: G11955MR4

DRAWING NOT TO SCALE



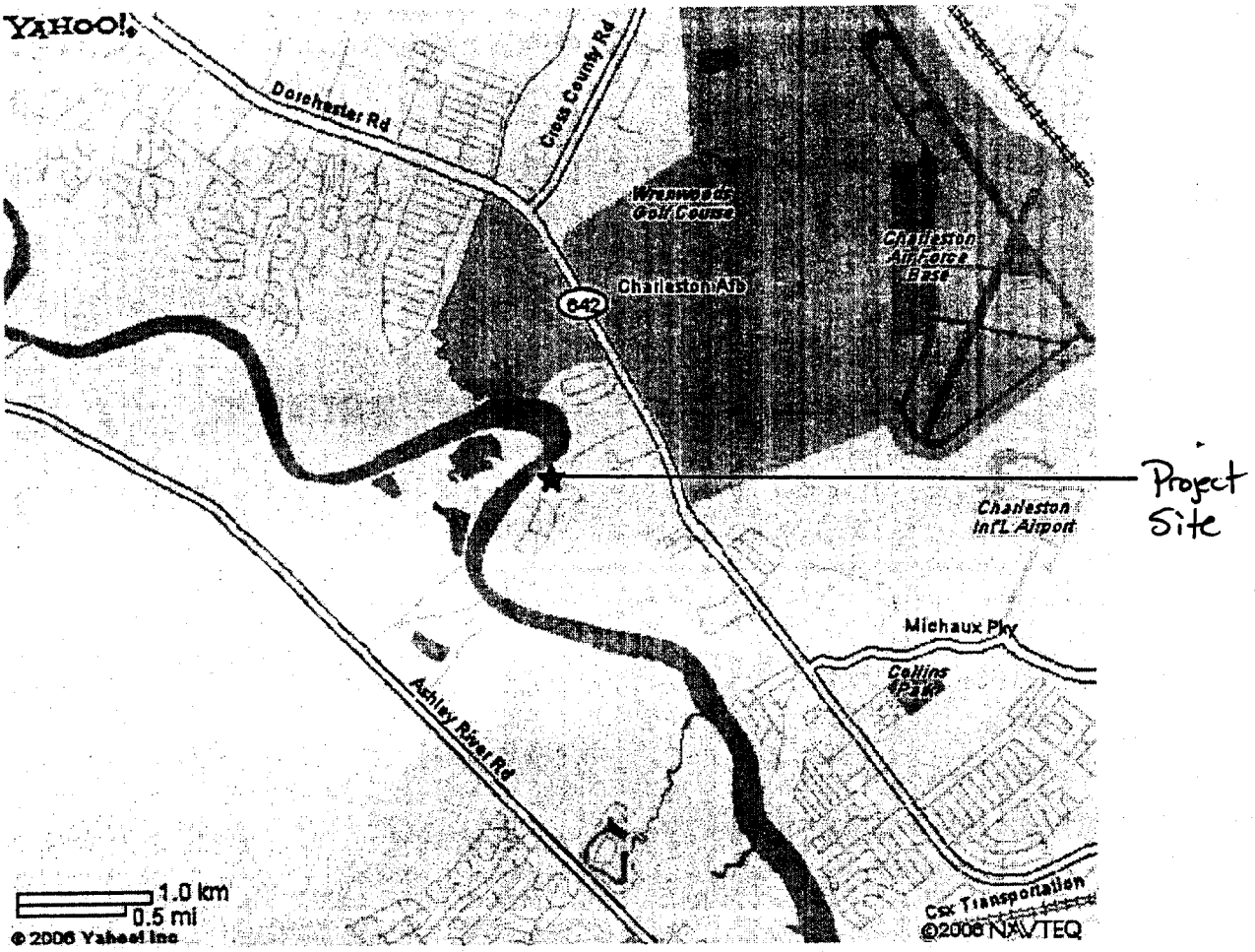
APPLICANT: Whitman Living Trust ACTIVITY: 4-pile boatlift	LOCATION: 4928 Lambs Road N. Charleston S.C. COUNTY: Charleston	ADJACENT PROPERTY OWNERS: William D. Kaufman Carlton R.Holcombe

OCRM-06-120-L

Yahoo! Maps - North Charleston, SC 29418-3525

« Back to Map

★ 4928 Lambs Rd North Charleston, SC 29418-3525



When using any driving directions or map, it's a good idea to do a reality check and make sure the road still exists, watch out for construction, and follow all traffic safety precautions. This is only to be used as an aid in planning.

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM-06-124-R
Permit ID: 54737

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: Lorraine Stiling
1232 Medinah Dr
Mount Pleasant, SC 29466

LOCATION: On and adjacent to Horlbeck Creek at 2825 Parkers Landing Rd, Rivertown Country Club, Mount Pleasant, Charleston County, South Carolina.
TMS#: 583-14-00-088.

WORK: The work as proposed and shown on the attached drawings consists of constructing a dock. The applicant seeks to construct a 4' x 564' walkway, with handrails, leading to a 10' x 14' covered fixed pierhead. Ebbside, a ramp will access an 8' x 10' floating dock. Floodside, a 12' x 12', four-pile boatlift is proposed. The work as described is for the applicant's private, recreational use.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006. For further information please contact the project manager for this activity, Tess Rodgers at 843-747-4323 ext. 116.

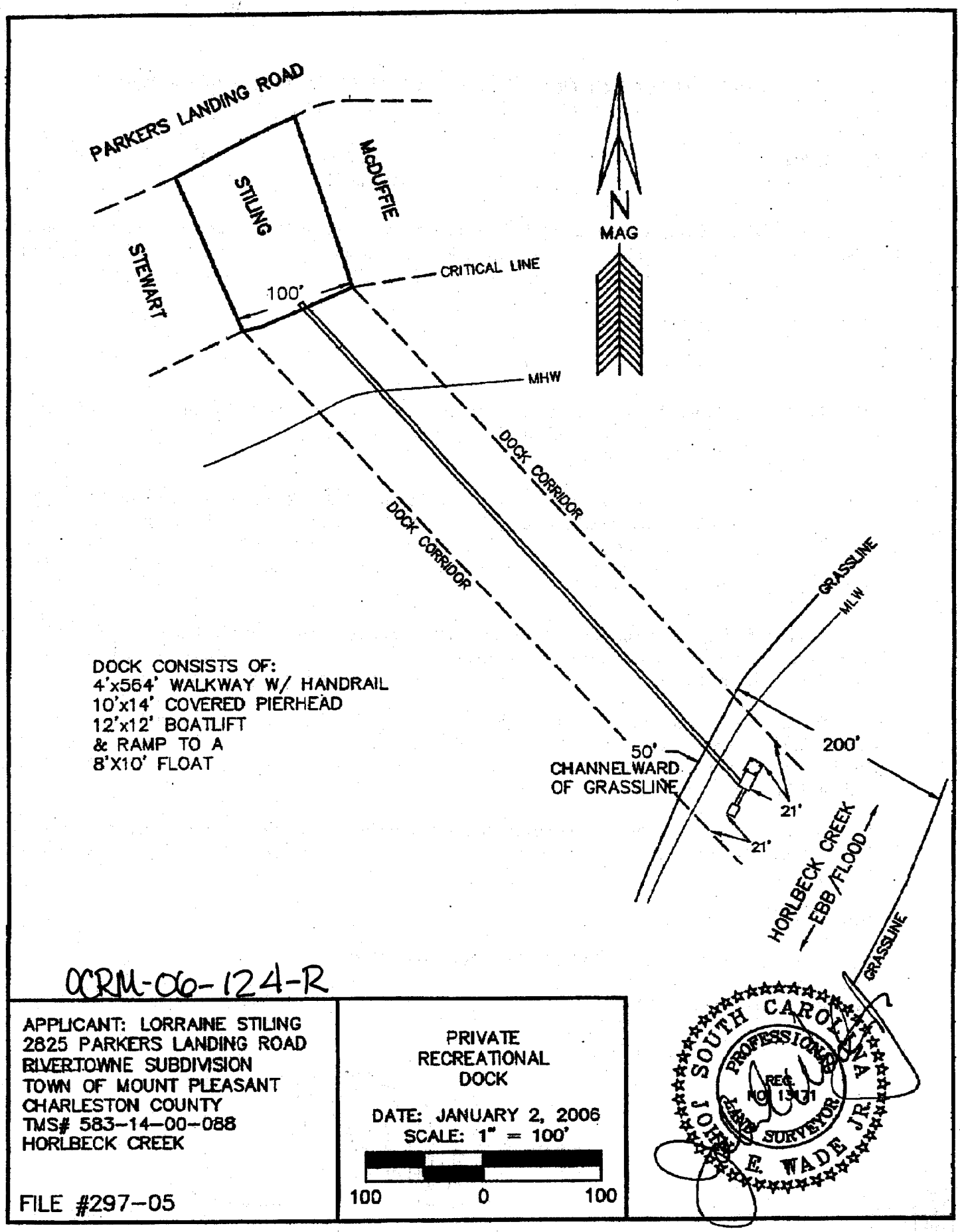
PLEASE REPLY TO:

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
1362 McMillan Avenue, Suite 400
Charleston, South Carolina 29405

Please refer to P/N# OCRM-06-124-R

Tess Rodgers, Regulatory Coordinator

m



OCRM-06-124-R

APPLICANT: LORRAINE STILING
2825 PARKERS LANDING ROAD
RIVERTOWNE SUBDIVISION
TOWN OF MOUNT PLEASANT
CHARLESTON COUNTY
TMS# 583-14-00-088
HORLBECK CREEK

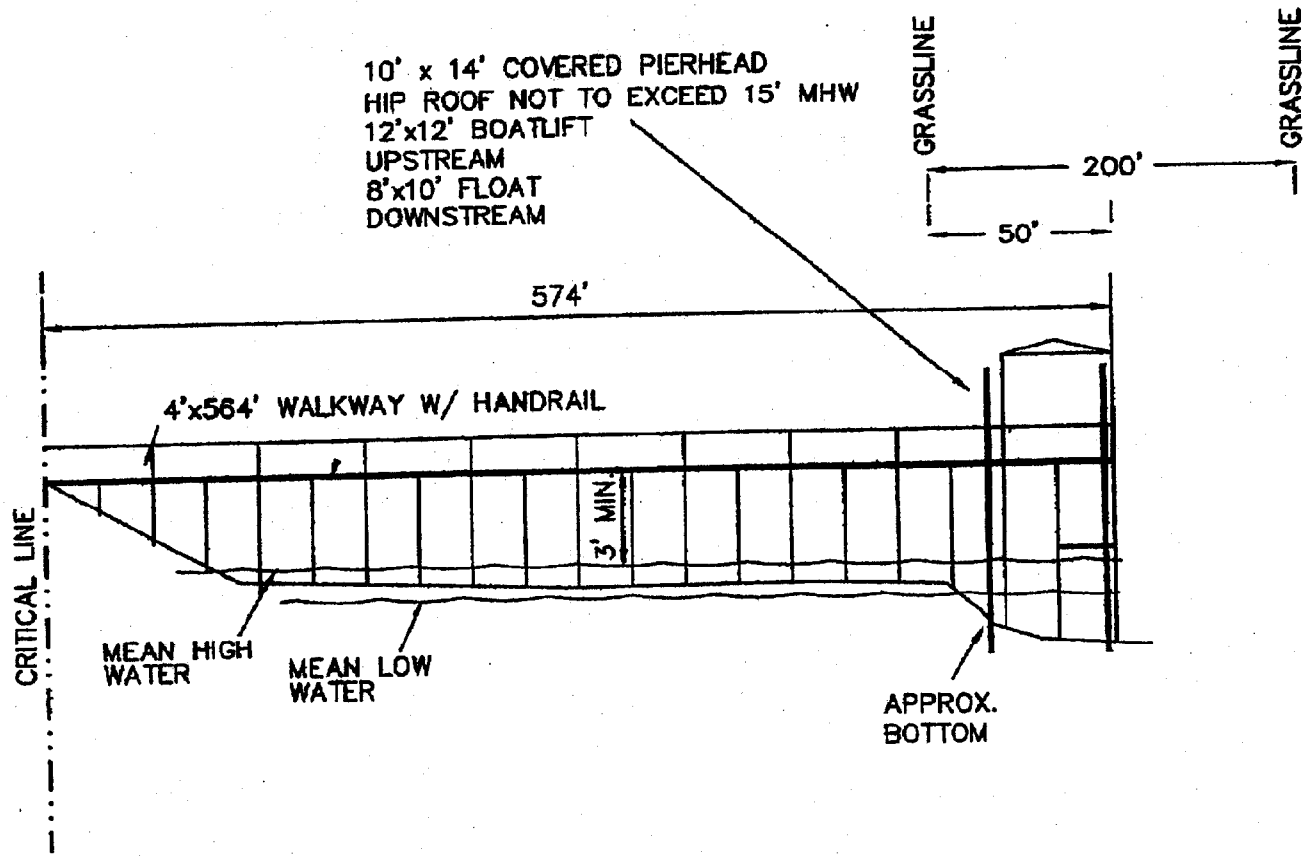
FILE #297-05

PRIVATE
RECREATIONAL
DOCK

DATE: JANUARY 2, 2006
SCALE: 1" = 100'

100 0 100

STATE OF SOUTH CAROLINA
PROFESSIONAL LAND SURVEYOR
REG. NO. 13171
JOHN E. WADE JR.



OCRM-06-124-R

APPLICANT: LORRAINE STILING
2825 PARKERS LANDING ROAD
RIVERTOWNE SUBDIVISION
TOWN OF MOUNT PLEASANT
CHARLESTON COUNTY
TMS# 583-14-00-088
HORLBECK CREEK

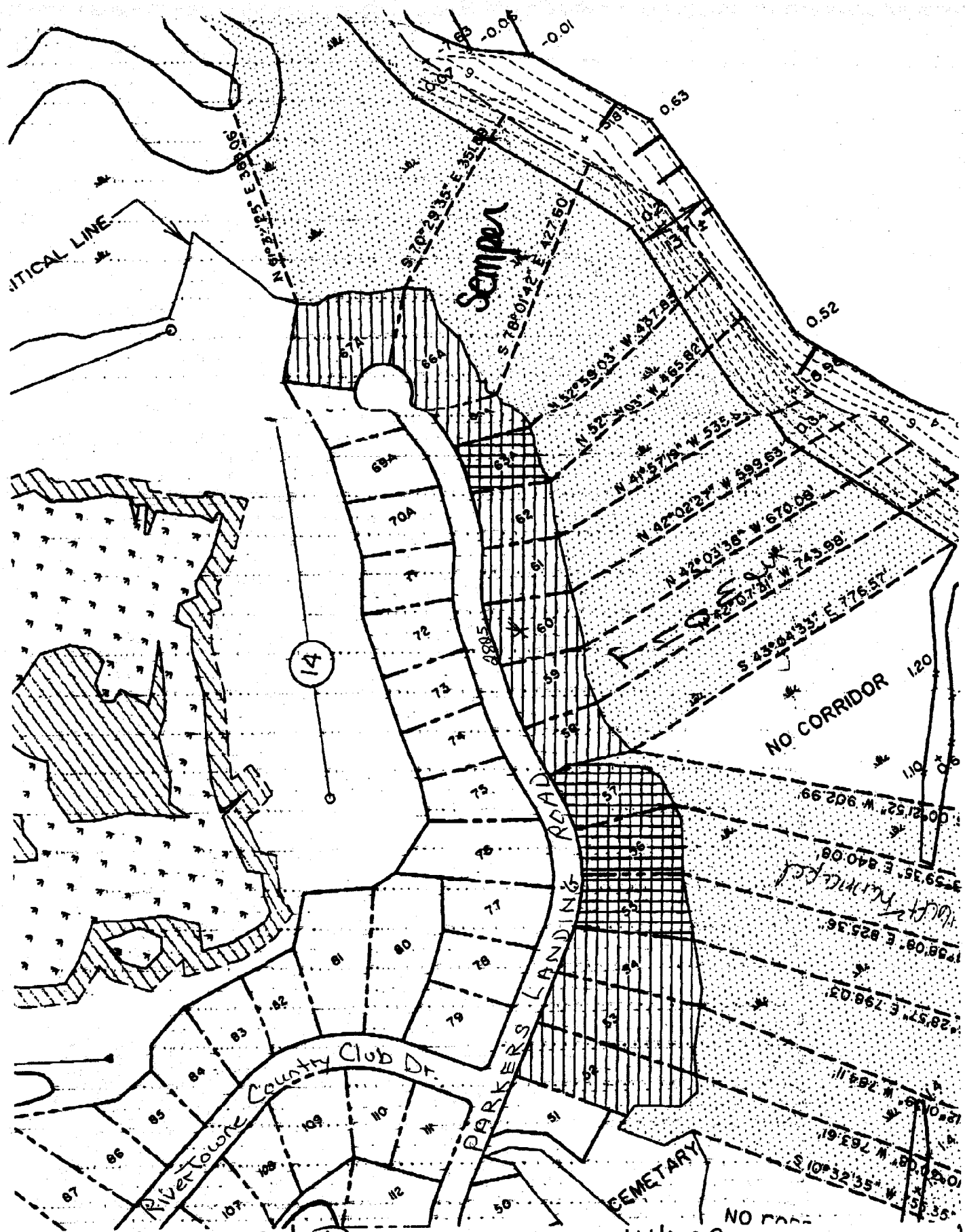
FILE #297-05

PRIVATE
RECREATIONAL
DOCK

DATE: JANUARY 2, 2006

NO SCALE

SOUTH CAROLINA PROFESSIONAL LAND SURVEYOR REG. NO. 13171 JOHN E. WADE JR.



OCRM-06-124-R

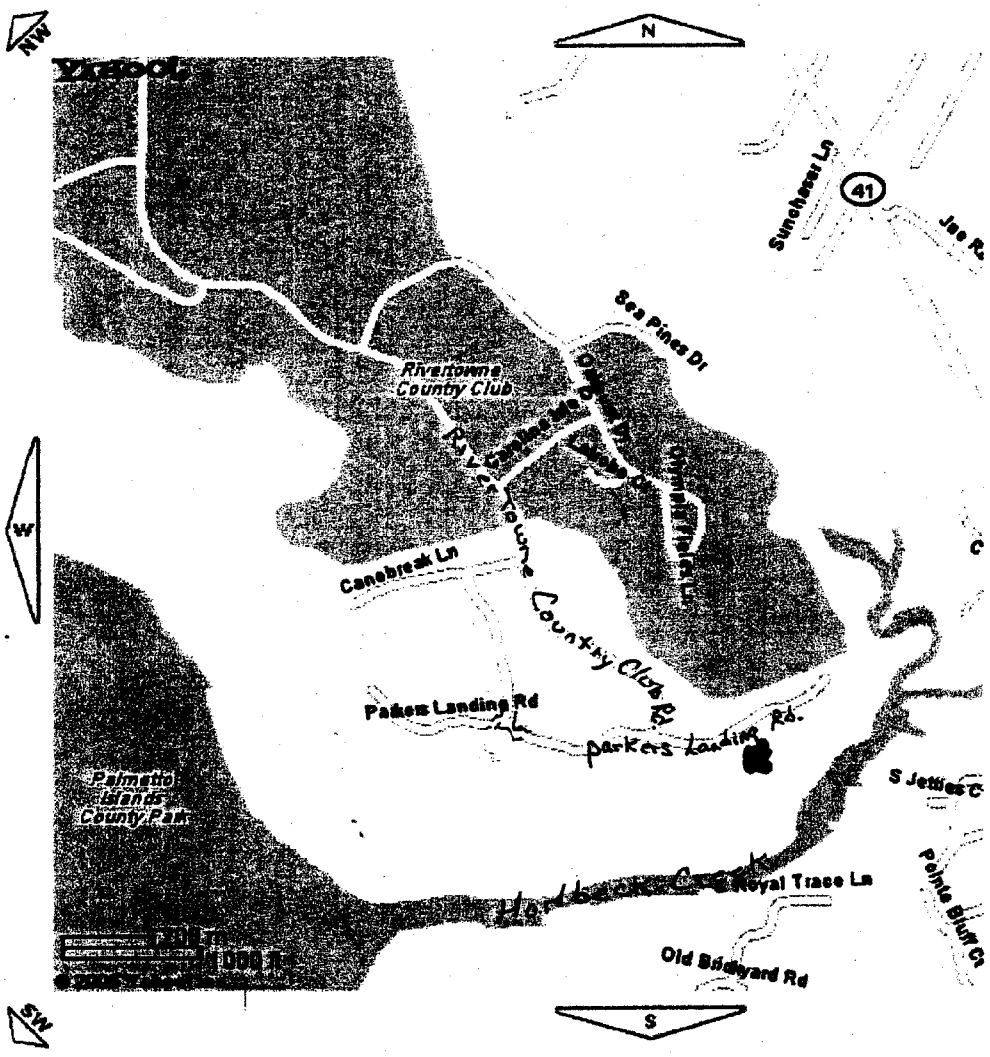
Lorraine Stilling
2825 Parkers Landing Rd

LOCATION MAP + Directions

OCRM-06-124-R

Driving Directions to **2825 Parkers Landing Road**
Mount Pleasant, SC 29466

17N
Turn left onto 41N, go 2.9 miles
At traffic light, turn left onto Rivertowne Pkwy, go .6 miles
Turn left onto Rivertowne Country Club Dr., go 2.1 miles
At stop sign, turn left onto Parkers Landing Road
2825 (Lot 60) is the 9th lot on the right



SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM-06-138-R
Permit ID: 54821

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: Steven Phillips
C/O American Dock & Marine
1533 Folly Rd, D-5
Charleston, SC 29412

LOCATION: On and adjacent to Hamlin Creek at 507 Palm Blvd, Isle of Palms, Charleston County, South Carolina.
TMS#: 568-10-00-207.

WORK: The work as proposed and shown on the attached plans consists of enlarging the existing floating dock. Specifically, the applicant seeks to enlarge the floating dock from 10' x 25' to 8' x 35'. The work as described is for the applicant's private, recreational use.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006. For further information please contact the project manager for this activity, Tess Rodgers at 843-747-4323 ext. 116.

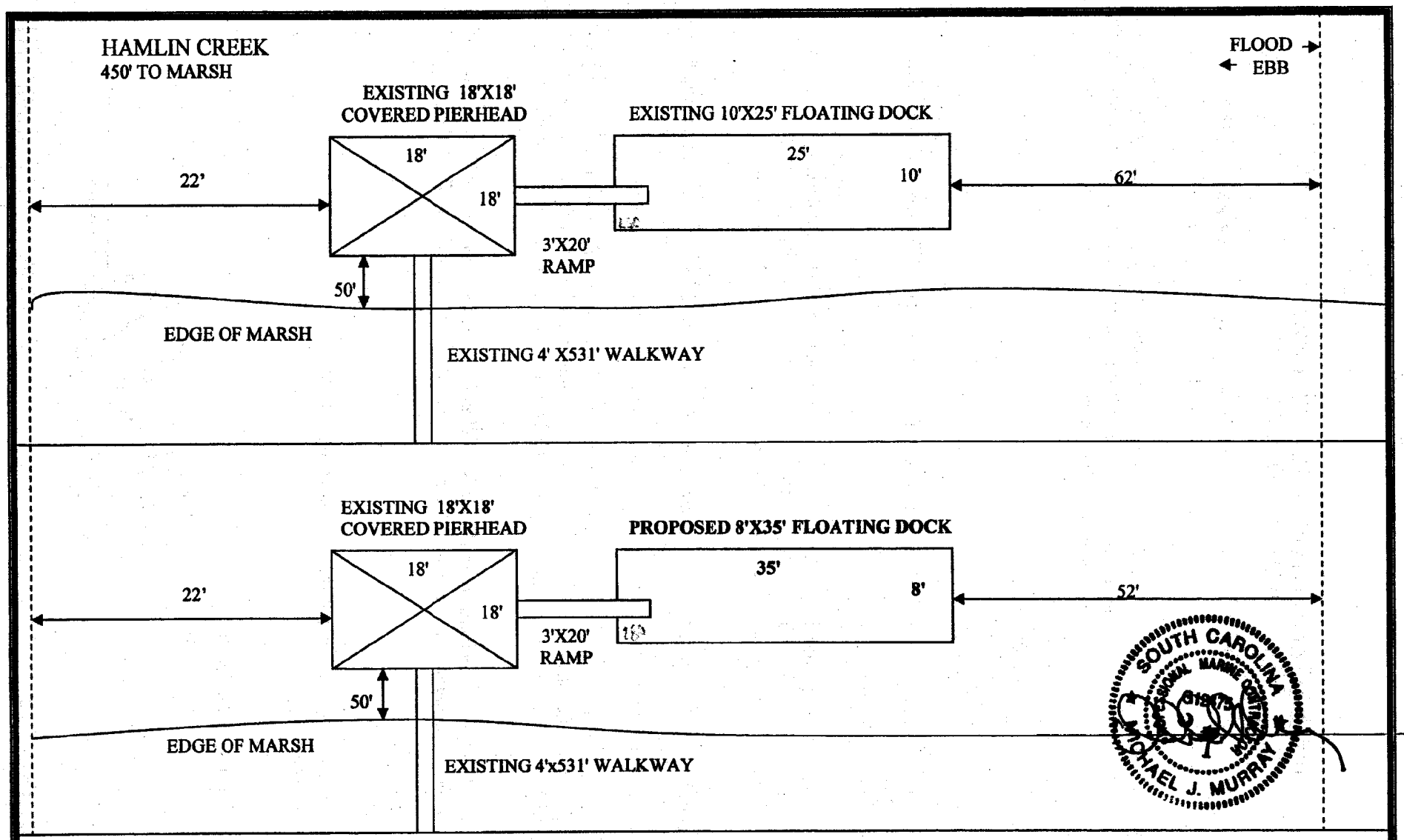
PLEASE REPLY TO:

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
1362 McMillan Avenue, Suite 400
Charleston, South Carolina 29405

Please refer to P/N# OCRM-06-138-R

Tess Rodgers, Regulatory Coordinator

m



PLAN VIEW

507 PALM BOULEVARD
ISLE OF PALMS, SC

OCRM-06-138-R

ADJACENT PROPERTY OWNERS

1. MR. & MRS. LARRY AMICK
2. RALPH & GLORIA FRIEDGEN.

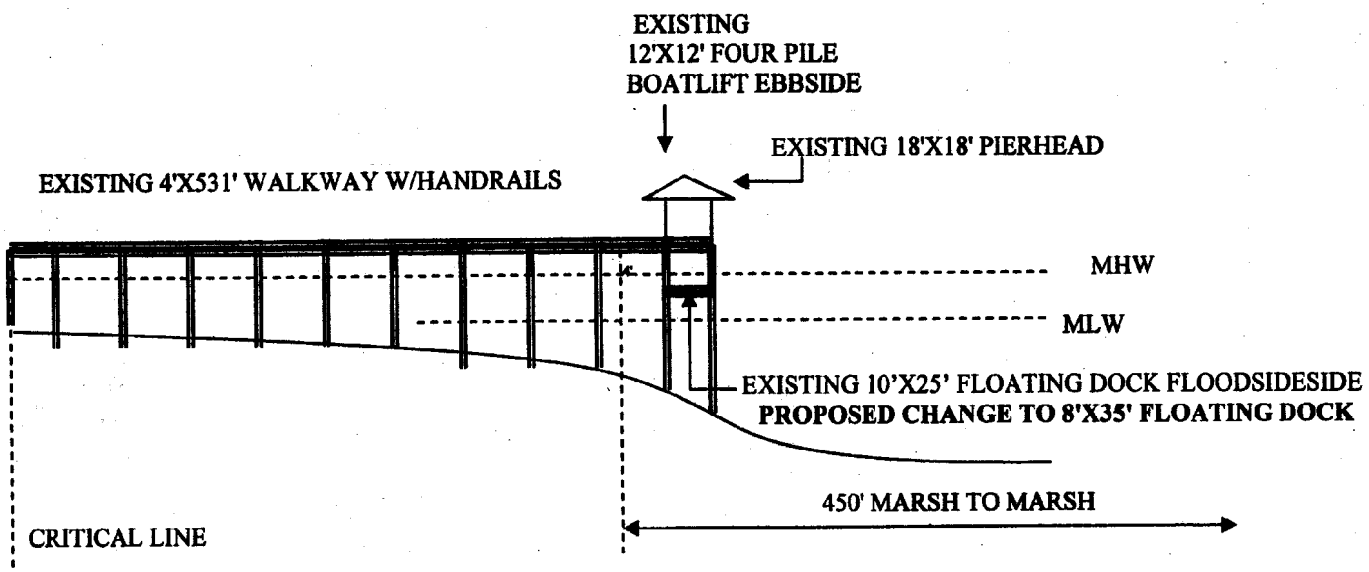
MAY, 2006

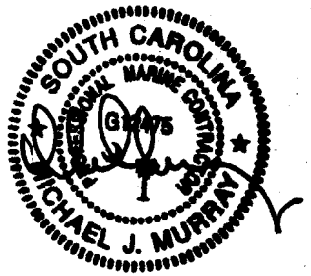
NOT TO SCALE

PROPOSED ACTIVITY
RECONFIGURE EXISTING FLOATING DOCK
COUNTY
CHARLESTON
APPLICANT
L. STEVEN PHILLIPS

OCRM P/N_____

HAMLIN CREEK





OCRM-06-138-R

ELEVATION VIEW

507 PALM BOULEVARD
ISLE OF PALMS, SC

ADJACENT PROPERTY OWNERS
1. MR & MRS LARRY AMICK
2. RALPH & GLORIA FRIEDGEN

MAY, 2006

NOT TO SCALE

PROPOSED ACTIVITY
RECONFIGURE EXISTING FLOATING DOCK
COUNTY
CHARLESTON
APPLICANT
STEVEN PHILLIPS

OCRM# _____

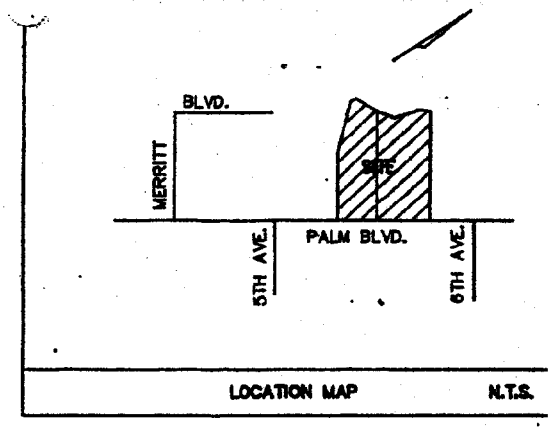
HAMLIN CREEK

FLOATING DOCK

The area shown on this plat is a general representation of DHEC-OCRM permit authority on the subject property. Critical areas, by their nature, are dynamic and subject to change over time. By presently delineating the permit authority of the DHEC-OCRM, the office of OCRM in no way waives the right to assert permit jurisdiction in any critical area on the subject property whether shown or not.

SIGNATURE DATE

The critical line shown on this plat is valid for three years from the date of this signature, subject to the cautionary language above.



PROPERTY LINE IS THE HIGH WATER LINE

DIECI, INC.
TMS 888-10-00-171

STEVE PHILLIPS
TMS 888-10-00-207
373 17 SF
0.86 Ac
TOTAL
LOT 1

LARRY AMICK
TMS 888-10-00-208
30236 SF
0.69 Ac
TOTAL
LOT 2

LOT 3
TMS 888-10-00-210

DHEC-OCRM CRITICAL LINE SEE NOTE 8

10' STRUCTURE SETBACK

20' VEHICLE SETBACK

394 SF
0009 Ac
HIGHLAND

9929 SF
0.23 Ac
HIGHLAND

PROPERTY LINE TO BE ABANDONED

5/8"REBAR FOUND

1/2"REBAR FOUND

1/2"REBAR SET

BULKHEAD

PALM BLVD. 100' R/W

LINE	BEARING	DISTANCE
1	S 59°05'02"E	9.50
2	N 30°07'35"W	21.68
3	S 84°17'03"W	8.53
4	S 71°28'01"E	26.48
5	N 30°07'35"W	22.37
6	N 62°57'42"W	14.05
7	N 39°05'27"W	20.81
8	N 69°42'23"W	34.83
9	N 84°33'35"W	38.11
10	N 79°11'35"W	12.02
11	S 86°39'13"W	22.82
12	S 86°07'35"W	[illegible]

OCRM-06-138-R

SCALE: 1" = 40'

CITY OF ISLE OF PALMS

CHARLESTON COUNTY, S.C.

PLAT OF A PROPERTY LINE ADJUSTMENT
BETWEEN LOTS 1 AND 2 BLOCK 20

AUG. 27, 199[illegible]

40 20 0 40 80 120
SCALE IN FEET

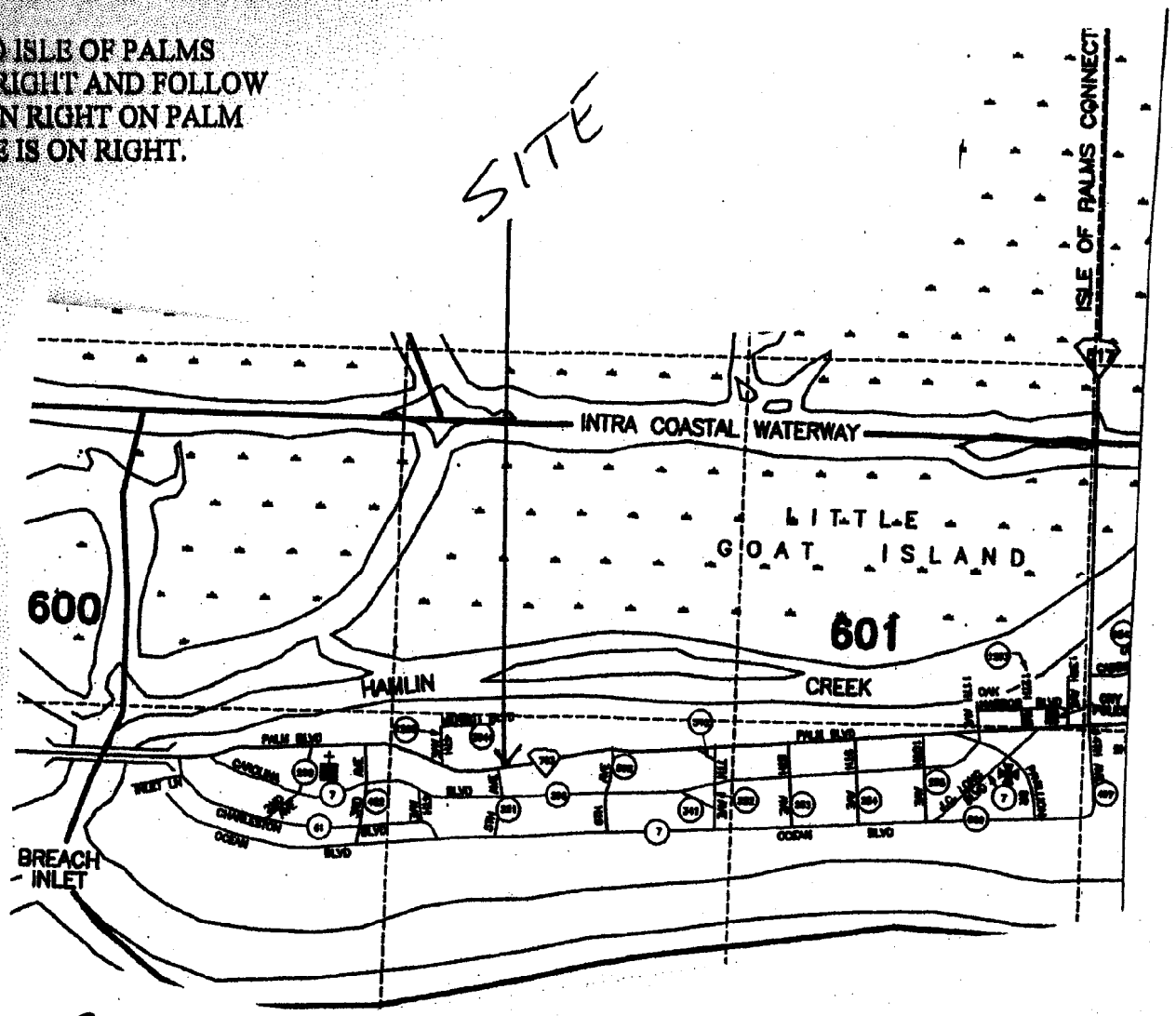
AREA DETERMINED BY COORDINATES
THIS PROPERTY LIES IN FLOOD ZONE AE (EL 10) AS SHOWN ON FEMA MAP 455418 0006 C DATED MARCH 16, 1991.
REFERENCE PLAT BY E.M. SEABROOK, JR. INC., DATED 12/8/95 "FILED "PLAT OF A SUBDIVISION OF A PORTION OF BLOCK 20 CONTAINING 3.43 ACRES INTO LOTS 1-5" AND APPROVED BY THE PLANNING COMMISSION OF THE CITY OF ISLE OF PALMS 1/10/96.

I hereby state that to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein.

LEWIS E. SEABROOK
CIVIL ENGINEER & LAND SURVEYOR
S. C. REG. NO. [illegible]
P. O. BOX 96
MT. PLEASANT, S. C. 29465
(803)884-4480

E.M. SEABROOK, JR. INC.
ENGINEERS-SURVEYORS-PLANNERS
105 JOHNNIE DODDS BLVD./P.O. BOX 96
MOUNT PLEASANT, S. C. 29465
PHONE (803) 884 - 4480

FOLLOW HWY 17N TO ISLE OF PALMS CONNECTOR. TURN RIGHT AND FOLLOW TO PALM BLVD. TURN RIGHT ON PALM AND GO ½ MILE. SITE IS ON RIGHT.



OCRM-06-138-R

VICINITY MAP	507 PALM BOULEVARD ISLE OF PALMS, SC
MAY, 2006	NOT TO SCALE

PROPOSED ACTIVITY
ENLARGE EXISTING FLOATING DOCK
COUNTY
CHARLESTON
APPLICANT
STEVEN PHILLIPS

OCRM_____

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM-06-140-R
Permit ID: 54822

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: Terry Forbes
1142 Talisman Rd
Mount Pleasant, SC 29464

LOCATION: On and adjacent to Shem Creek at 1142 Talisman Rd, Mount Pleasant, Charleston County, South Carolina.
TMS#: 535-12-00-050.

WORK: The work as proposed and shown on the attached plans consists of constructing a dock. The applicant seeks to build a 4' x 207' walkway, with handrails, leading to a 6' x 10' pierhead. The work as described is for the applicant's private, recreational use.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006. For further information please contact the project manager for this activity, Tess Rodgers at 843-747-4323 ext. 116.

PLEASE REPLY TO:

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
1362 McMillan Avenue, Suite 400
Charleston, South Carolina 29405

Please refer to P/N# OCRM-06-140-R

Tess Rodgers, Regulatory Coordinator

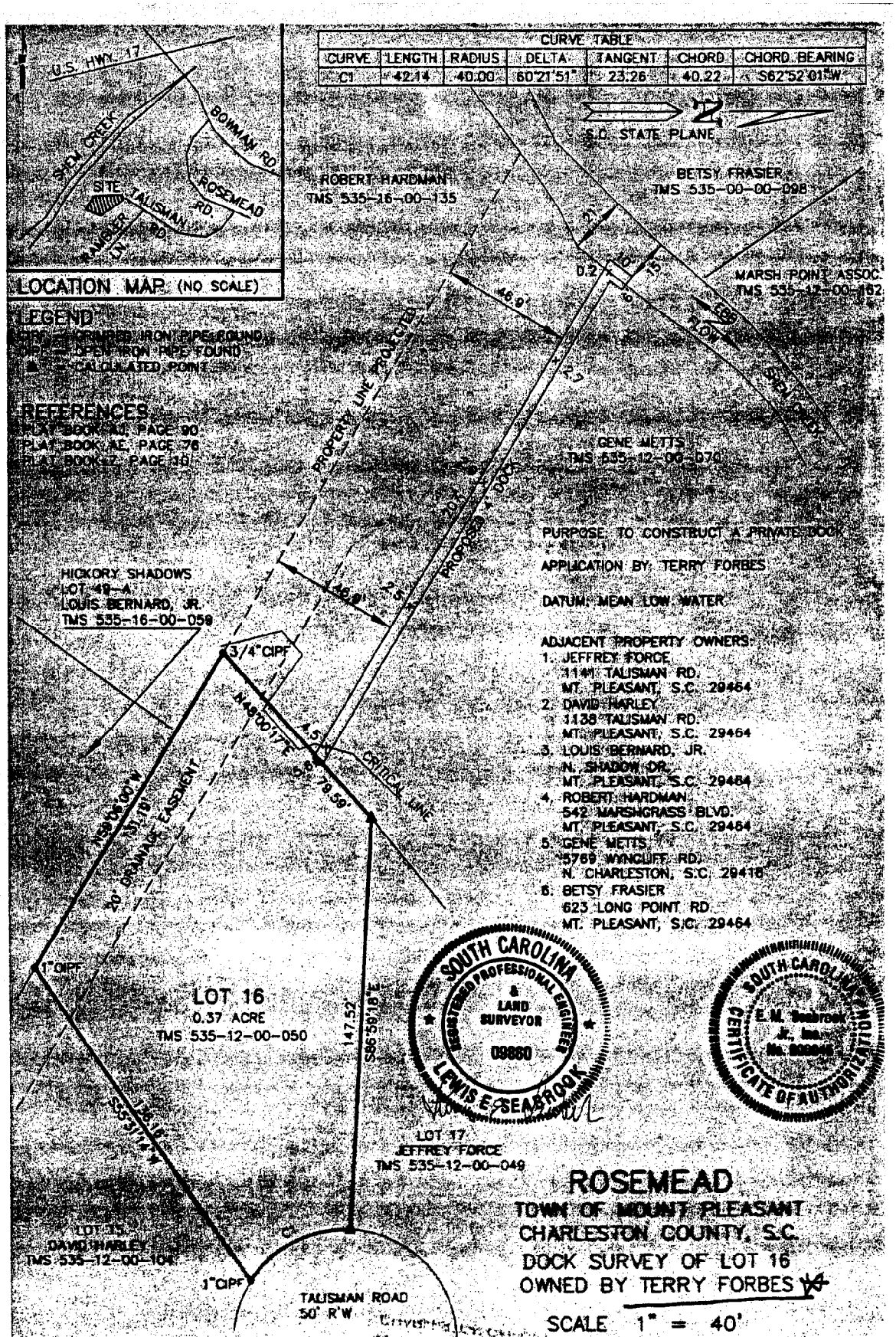
m

NTS: reduced for notice

1142 Talisman

OCRM-06-140-R

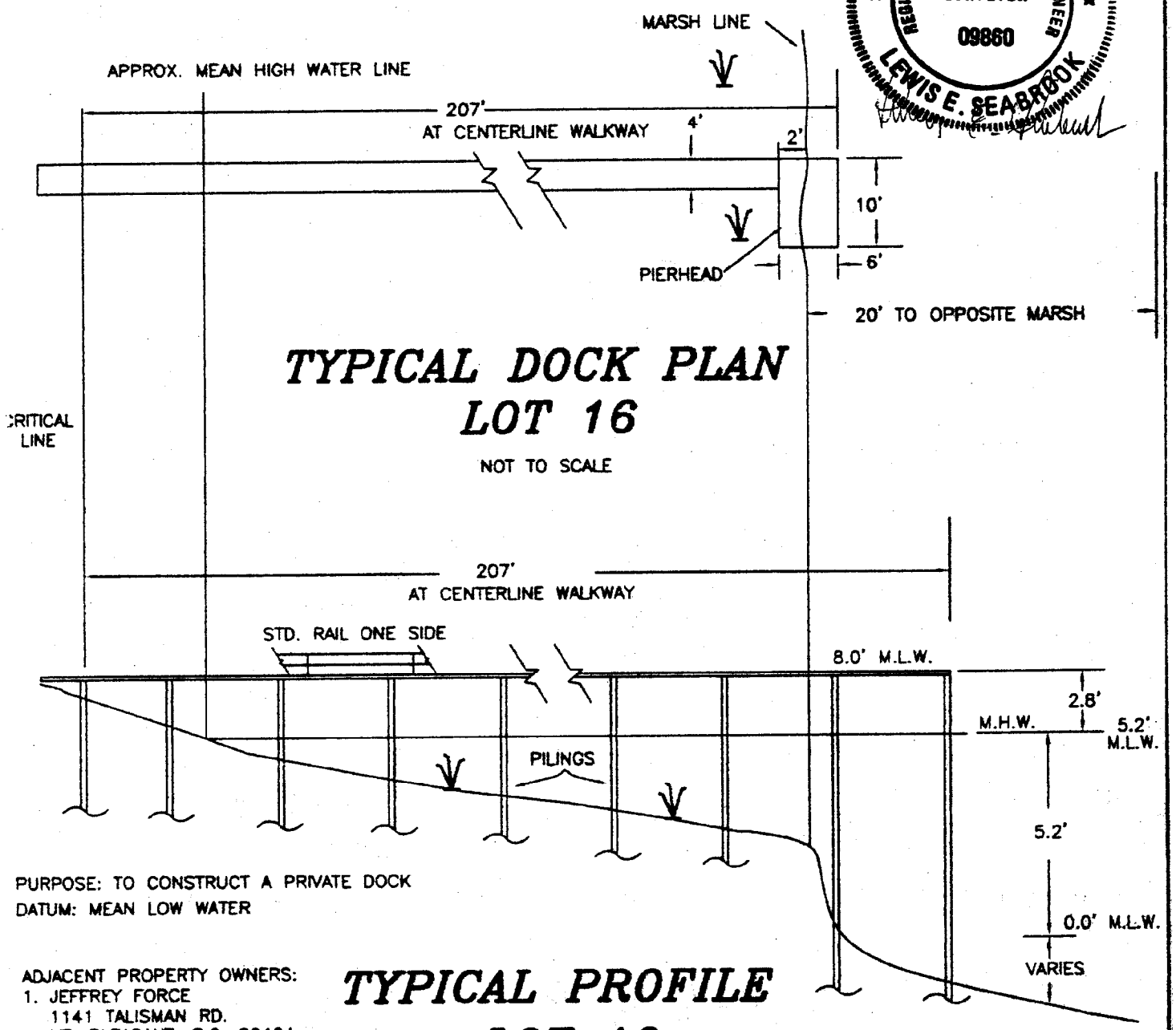
CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING
C1	42.14	40.00	60°21'51"	23.26	40.22	S62°52'01"W



I hereby state that to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein; also there are no visible encroachments or projections other than shown.

LEWIS E. SEABROOK
CIVIL ENGINEER & LAND SURVEYOR

E. M. SEABROOK, JR. INC.
ENGINEERS–SURVEYORS–PLANNERS
1081 JOHNNIE DODDS BLVD./BOX 96
MOUNT PLEASANT, SC 29465



TYPICAL DOCK PLAN
LOT 16

NOT TO SCALE

PURPOSE: TO CONSTRUCT A PRIVATE DOCK
DATUM: MEAN LOW WATER

TYPICAL PROFILE
LOT 16

NOT TO SCALE

ADJACENT PROPERTY OWNERS:
1. JEFFREY FORCE
   1141 TALISMAN RD.
   MT. PLEASANT, S.C. 29464
2. DAVID HARLEY
   1138 TALISMAN RD.
   MT. PLEASANT, S.C. 29464
3. LOUIS BERNARD, JR.
   N. SHADOW DR.
   MT. PLEASANT, S.C. 29464
4. ROBERT HARDMAN
   542 MARSHGRASS BLVD.
   MT. PLEASANT, S.C. 29464
5. GENE METTS
   5769 WYNCLIFF RD.
   N. CHARLESTON, S.C. 29418
6. BETSY FRASIER
   623 LONG POINT RD.
   MT. PLEASANT, S.C. 29464

SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER & LAND SURVEYOR 09860 LEWIS E. SEABROOK

SOUTH CAROLINA CERTIFICATE OF AUTHORIZATION E. M. Seabrook Jr., Inc. No. 800045

OCRM-06-140-R

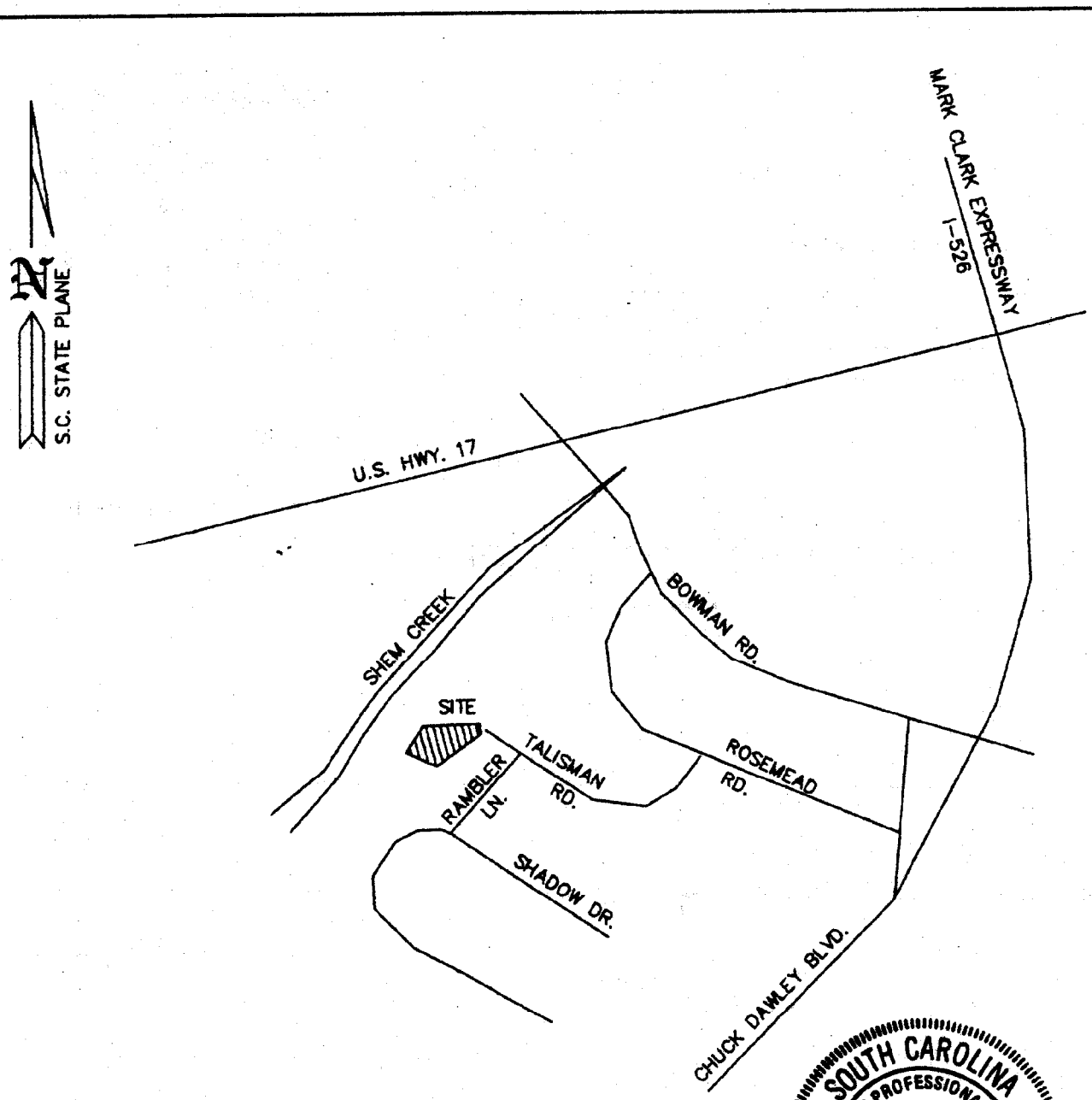
PROPOSED: DOCK

LOT 16
ROSEMEAD SUBDIVISION
1142 TALISMAN ROAD

TOWN OF MOUNT PLEASANT
CHARLESTON COUNTY, S.C.

APPLICATION BY: TERRY FORBES

SHEET 4 OF 4 DATE: 4/27/06



PURPOSE: TO CONSTRUCT A PRIVATE DOCK

DATUM: MEAN LOW WATER

ADJACENT PROPERTY OWNERS:

1. JEFFREY FORCE
   1141 TALISMAN RD.
   MT. PLEASANT, S.C. 29464
2. DAVID HARLEY
   1138 TALISMAN RD.
   MT. PLEASANT, S.C. 29464
3. LOUIS BERNARD, JR.
   N. SHADOW DR.
   MT. PLEASANT, S.C. 29464
4. ROBERT HARDMAN
   542 MARSHGRASS BLVD.
   MT. PLEASANT, S.C. 29464
5. GENE METTS
   5769 WYNCLIFF RD.
   N. CHARLESTON, S.C. 29418
6. BETSY FRASIER
   623 LONG POINT RD.
   MT. PLEASANT, S.C. 29464

OCRM-06-140-R

LOCATION MAP

NO SCALE

SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER & LAND SURVEYOR 09860 LEWIS E. SEABROOK

SOUTH CAROLINA CERTIFICATE OF AUTHORIZATION E. M. Seabrook Jr., Inc. No. C00045

PROPOSED: DOCK
LOT 16
ROSEMEAD SUBDIVISION
1142 TALISMAN ROAD
TOWN OF MOUNT PLEASANT
CHARLESTON COUNTY, S.C.

APPLICATION BY: TERRY FORBES

SHEET 1 OF 4 DATE: 4/27/06

JCG
Tn

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM- 06-145-M
Permit ID: 54837

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: Edwin T. Hill
C/O Cox Marine
3420 Maybank Hwy.
Johns Island, SC 29455

LOCATION: On and adjacent to Bohicket Creek at Lot 69, Anchor Watch Drive, Anchorage Plantation Subdivision, Wadmalaw Island, Charleston County, South Carolina.
TMS#: 199-00-00-034.

WORK: The work as proposed and shown on the attached plans consists of constructing a dock. Specifically, the structure will have a 4' by 980' walkway with handrails leading to a 15' by 20' covered fixed pierhead with benches and handrails. On the upstream side of the pierhead a ramp will lead to a 10' by 30' floating dock. The applicant also proposes to install a 14' by 20' four-pile boatlift on the downstream side of the proposed pierhead. The purpose of the activity is for the applicant's private recreational use.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006. For further information please contact the project manager for this activity, Fred Mallett at 843-747-4323 ext.119.

PLEASE REPLY TO:

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
1362 McMillan Avenue, Suite 400
Charleston, South Carolina 29405

Please refer to P/N# OCRM-06-145-M

Tess Rodgers, Regulatory Coordinator

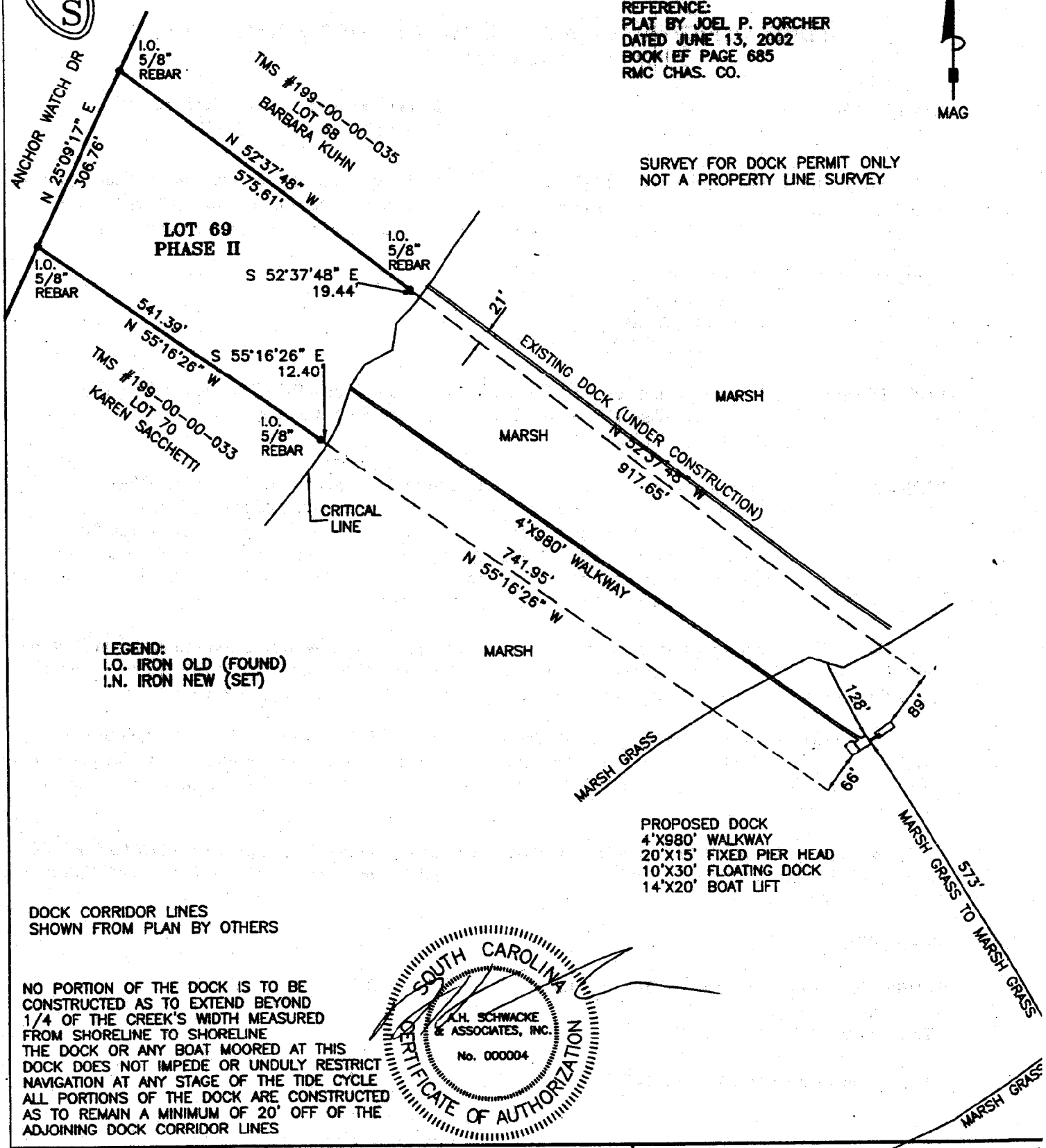
m

A.H. SCHWACKE & ASSOCIATES, INC.
LAND SURVEYING & CONSTRUCTION LAYOUT
1975 FRAMPTON AVE. PH 843-762-7005 FAX 843-762-0109
P.O. BOX 13077, CHARLESTON, SOUTH CAROLINA 29422-3077

REFERENCE:
PLAT BY JOEL P. PORCHER
DATED JUNE 13, 2002
BOOK EF PAGE 685
RMC CHAS. CO.

MAG

SURVEY FOR DOCK PERMIT ONLY
NOT A PROPERTY LINE SURVEY



LEGEND:
I.O. IRON OLD (FOUND)
I.N. IRON NEW (SET)

PROPOSED DOCK
4'X980' WALKWAY
20'X15' FIXED PIER HEAD
10'X30' FLOATING DOCK
14'X20' BOAT LIFT

DOCK CORRIDOR LINES
SHOWN FROM PLAN BY OTHERS

NO PORTION OF THE DOCK IS TO BE CONSTRUCTED AS TO EXTEND BEYOND 1/4 OF THE CREEK'S WIDTH MEASURED FROM SHORELINE TO SHORELINE
THE DOCK OR ANY BOAT MOORED AT THIS DOCK DOES NOT IMPEDE OR UNDULY RESTRICT NAVIGATION AT ANY STAGE OF THE TIDE CYCLE
ALL PORTIONS OF THE DOCK ARE CONSTRUCTED AS TO REMAIN A MINIMUM OF 20' OFF OF THE ADJOINING DOCK CORRIDOR LINES

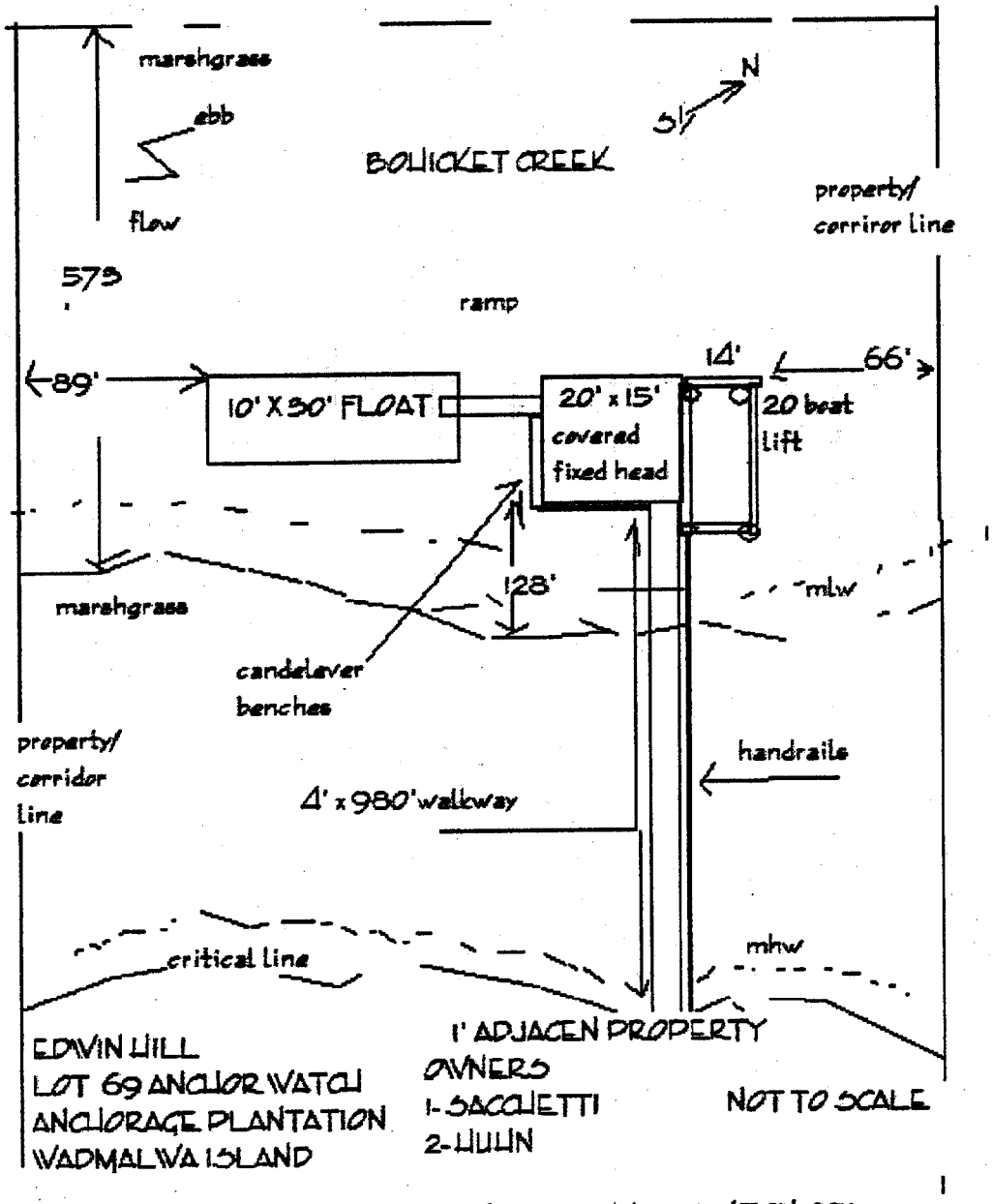
SOUTH CAROLINA
A.H. SCHWACKE & ASSOCIATES, INC.
No. 000004
CERTIFICATE OF AUTHORIZATION

DRAWN BY: AHS III	
DATE: APRIL 25, 2006	
DWG. NO.: 06096	
SCALE: 1" = 200'	
REVISED: APRIL 27, 2006	

PROPOSED ACTIVITY
CONSTRUCT PRIVATE/RESIDENTIAL DOCK
LOT 69 PHASE II THE ANCHORAGE
ANCHOR WATCH DR., WADMALAW ISLAND
CHARLESTON COUNTY, SOUTH CAROLINA
TAX MAP No. 199-00-00-034

APPLICANT:
EDWIN TODD HILL
2477 HORSESHOE BND
AIKEN, SC 29803-8829

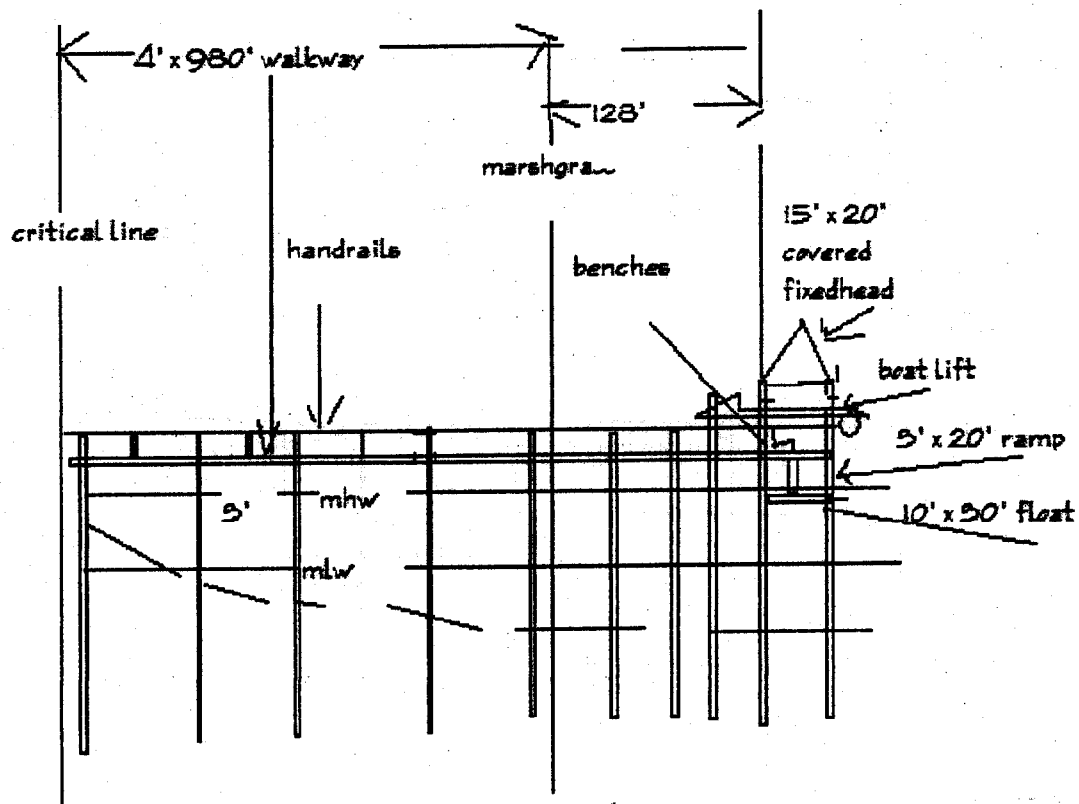
OCRM-06-145-M



COX MARINE CONTRACTOR LICENSE # 13449 LAWTON COX

Lawton Cox

OCRM-06-145-M



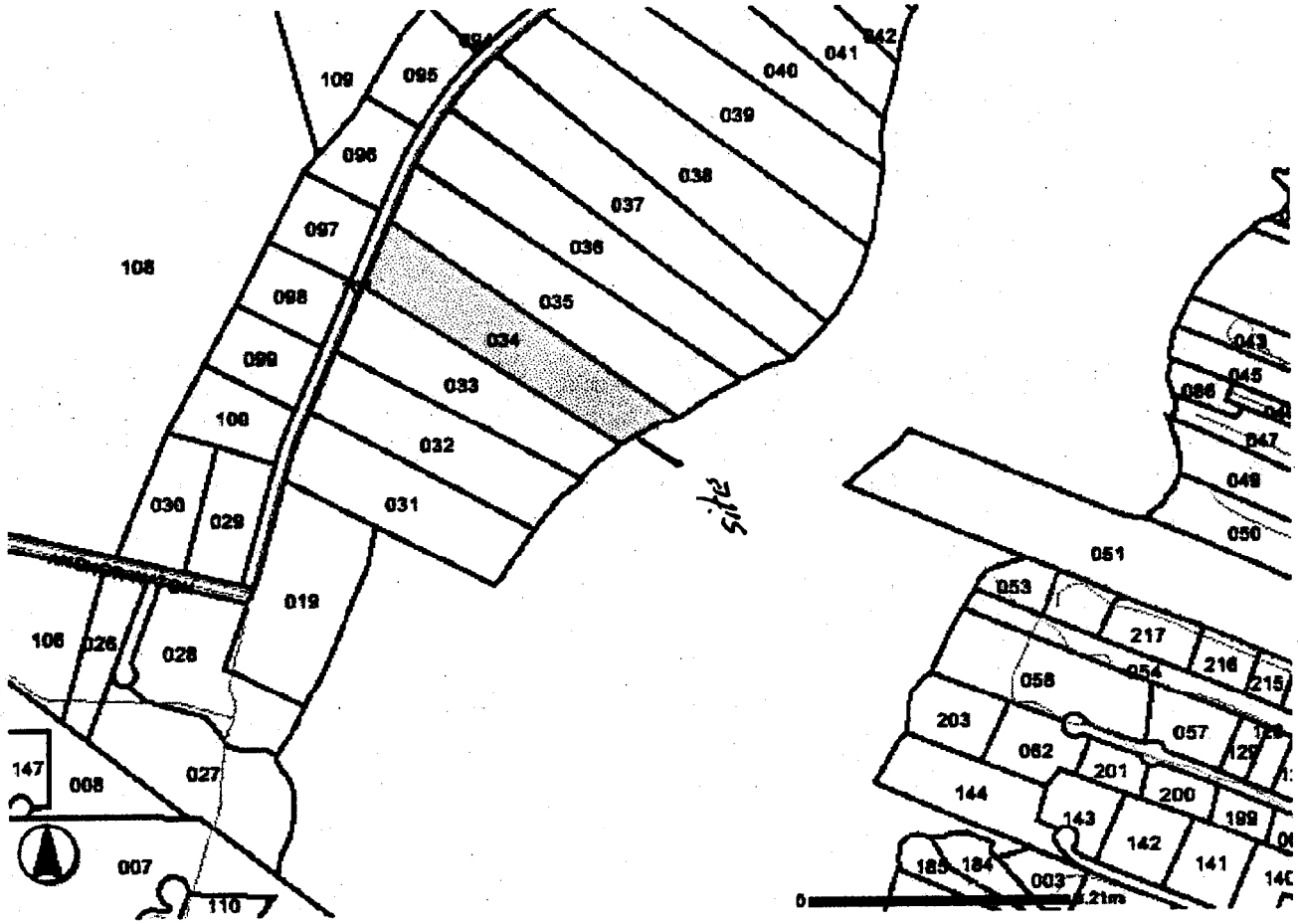
ADJACENT PROPERTY
OWNERS
1 KUHN
1 - SACCHETTI

edwin hill
lot 69 anchor watch
anchorage plantation
wadmalaw island

cox marine contractors license # 15449

Sawfa Cay

OCRM-06-145-M



Edwin Todd Hill
Lot 69 ANCHOR Watch
ANCHORAGE PLANTATION
WADMALAW ISLAND, SC


SITE
JOHNS ISLAND
JOHNS ISLAND
STONO RIVER
INTRACOASTAL WATERWAY
FOLLY BEACH
FOLLY RIVER
SOL LEGARE ISLAND
LEGAREVILLE
St. James Ch.
Abbapoola Creek
Johns Island Rural Center
Johns Island Presbyterian Ch.
St. Cathrines Ch.
Johns Island Lookout Tower
NORRIS ACRES
FENWICK
CEDAR
Clemson University Experiment Station
U.S. Dept. of Agriculture Agricultural Experiment Station
BUZZARDS ROOST POINT
Pennys Creek
Simmons Cr.
RED TOP
RANTOWLES
Tomb of Col. Wm. Washington
WALLACE
Church Creek
Wando Ch.
Wadmalaw Ch.
Bethel Ch.
New Cut Plantation
Salem Ch.
Anchorage Plantation
Bethlehem Ch.
Wadmalaw Island P.O.
Bohicket Creek
Cottage Pltn.
Hebron Ch.
St. Johns Ch.
Haulover Cr.
SEABROOK ISLAND
Camp St. Christopher
Boy Scout Camp
Pickins Cr.
ROCKVILLE
WADMALAW SOUND
WADMALAW ISLAND
TOOGOODOO
MARTINS POINT
RAVENEL
HOLLYWOOD
MEGGETT
St. Paul Ch.
Dixie Plantation
Red Hill Chapel
LINE
COAST
Middle
DRAYTON HALL
KIAWAH RIVER
KIAWAH ISLAND
JAMES ISLAND
Sellbrook Plantation
Chaplin

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM-06-146-M
Permit ID: 54838

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: Lincoln Grooms
C/O Cox Marine
3420 Maybank Hwy.
Johns Island, SC 29455

LOCATION: On and adjacent to Rantowles Creek at 4385 Ten Shilling Way, Poplar Grove Subdivision, Hollywood, Charleston County, South Carolina.
TMS#: 242-00-00-042.

WORK: The work as proposed and shown on the attached plans consists of constructing a dock. Specifically, the structure will have a 4' by 430' walkway with handrails leading to a 10' by 20' covered pierhead with benches and handrails. Channelward of the pierhead, a ramp will lead to a 10' by 20' floating dock. The applicant also proposes to install a 12' by 12' four-pile boatlift on the downstream end of the proposed floating dock. The purpose of the activity is for the applicant's private recreational use.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006. For further information please contact the project manager for this activity, Fred Mallett at 843-747-4323 ext. 119.

PLEASE REPLY TO:

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
1362 McMillan Avenue, Suite 400
Charleston, South Carolina 29405

Please refer to P/N# OCRM-06-146-M

Tess Rodgers, Regulatory Coordinator

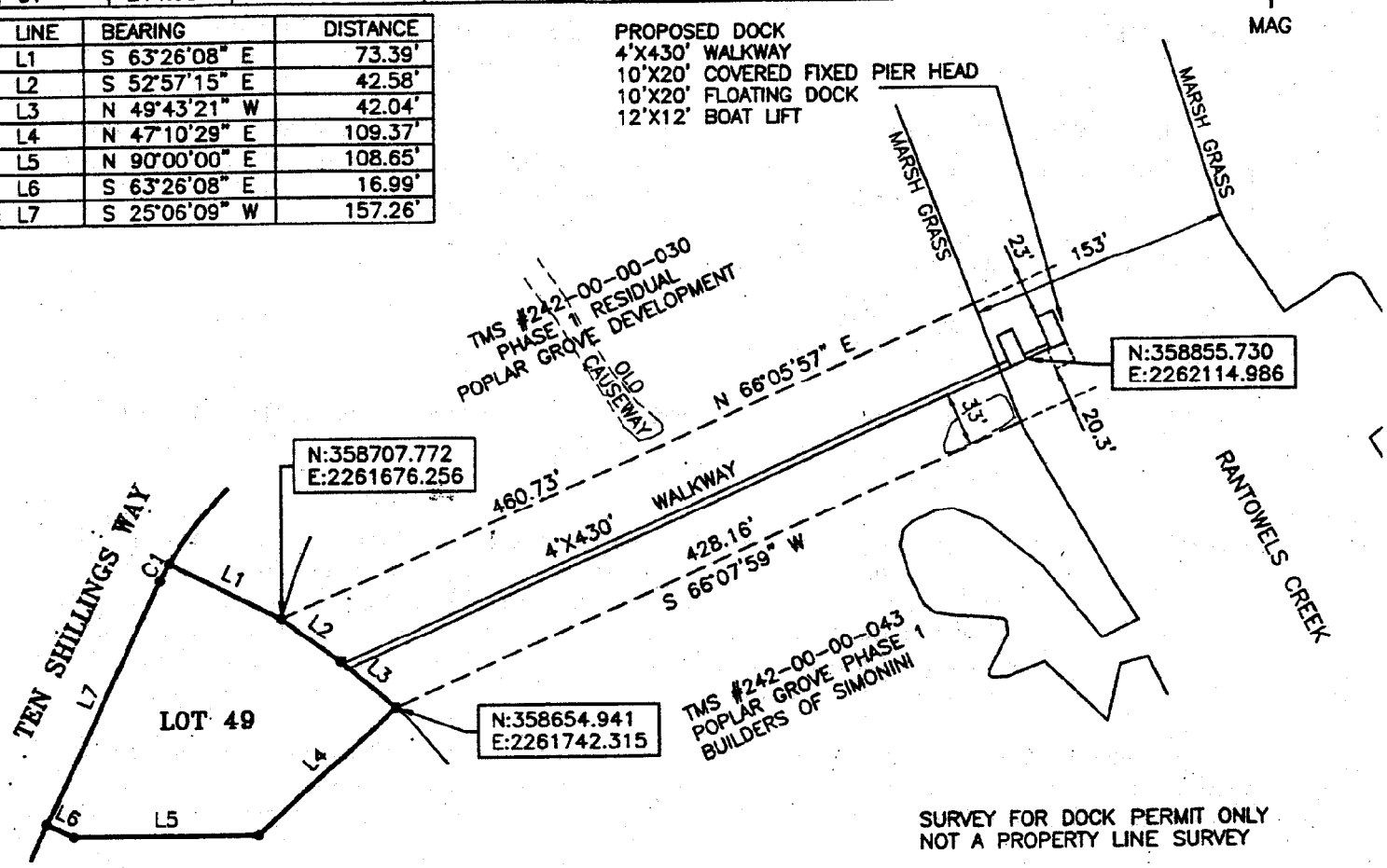
m

A.H. SCHWACKE & ASSOCIATES, INC.
LAND SURVEYING & CONSTRUCTION LAYOUT
1975 FRAMPTON AVENUE PHONE 843-762-7005 FAX 843-762-0109
P.O. BOX 13077, CHARLESTON, SOUTH CAROLINA 29422-3077

MAG

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	214.68'	11.48'	11.48'	N 29°27'41" E	03°03'51"

LINE	BEARING	DISTANCE
L1	S 63°26'08" E	73.39'
L2	S 52°57'15" E	42.58'
L3	N 49°43'21" W	42.04'
L4	N 47°10'29" E	109.37'
L5	N 90°00'00" E	108.65'
L6	S 63°26'08" E	16.99'
L7	S 25°06'09" W	157.26'



SURVEY FOR DOCK PERMIT ONLY
NOT A PROPERTY LINE SURVEY

LEGEND:
I.O. IRON OLD (FOUND)
I.N. IRON NEW (SET)
CMO CONCRETE MONUMENT (FOUND)

REFERENCE:
PLAT BY F. F. ELLIOTTE QUINN, III
DATED SEPTEMBER 10, 2004
BOOK EH PAGE 403
RMC CHAS. CO.

PLAT BY F. F. ELLIOTTE QUINN, III
APPROVED MAY 9, 2002
DOCK CORRIDOR PLAN

NO PORTION OF THE DOCK IS TO BE CONSTRUCTED AS TO EXTEND BEYOND 1/4 OF THE CREEK'S WIDTH MEASURED FROM SHORELINE TO SHORELINE
THE DOCK OR ANY BOAT MOORED AT THIS DOCK DOES NOT IMPEDE OR UNDULY RESTRICT NAVIGATION AT ANY STAGE OF THE TIDE CYCLE
ALL PORTIONS OF THE DOCK ARE CONSTRUCTED AS TO REMAIN A MINIMUM OF 20' OFF OF THE ADJOINING DOCK CORRIDOR LINES

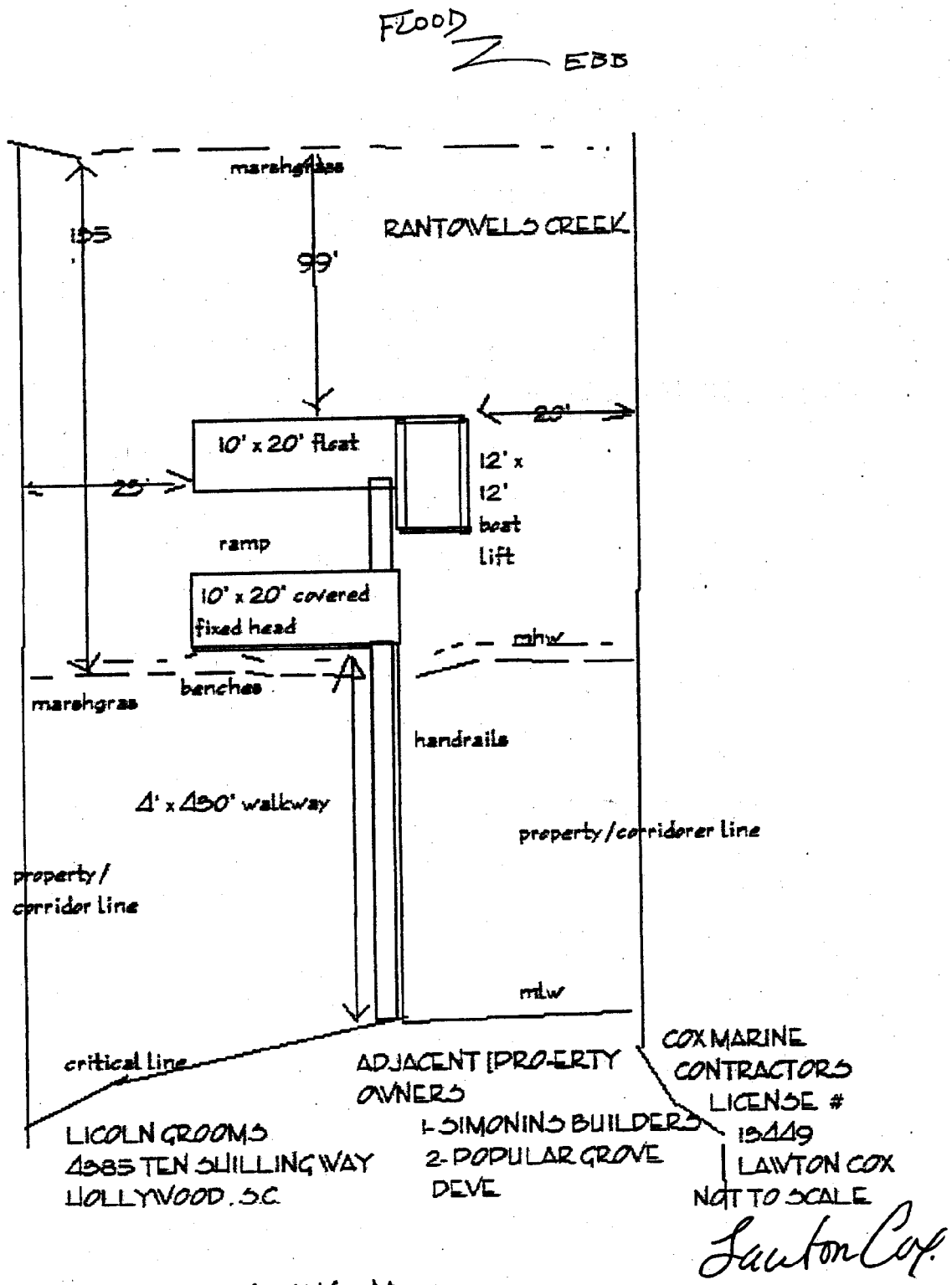
TAX MAP No. 242-00-00-042

Prepared for:
COX MARINE

SOUTH CAROLINA
A.H. SCHWACKE & ASSOCIATES, INC.
No. 000004
CERTIFICATE OF AUTHORIZATION

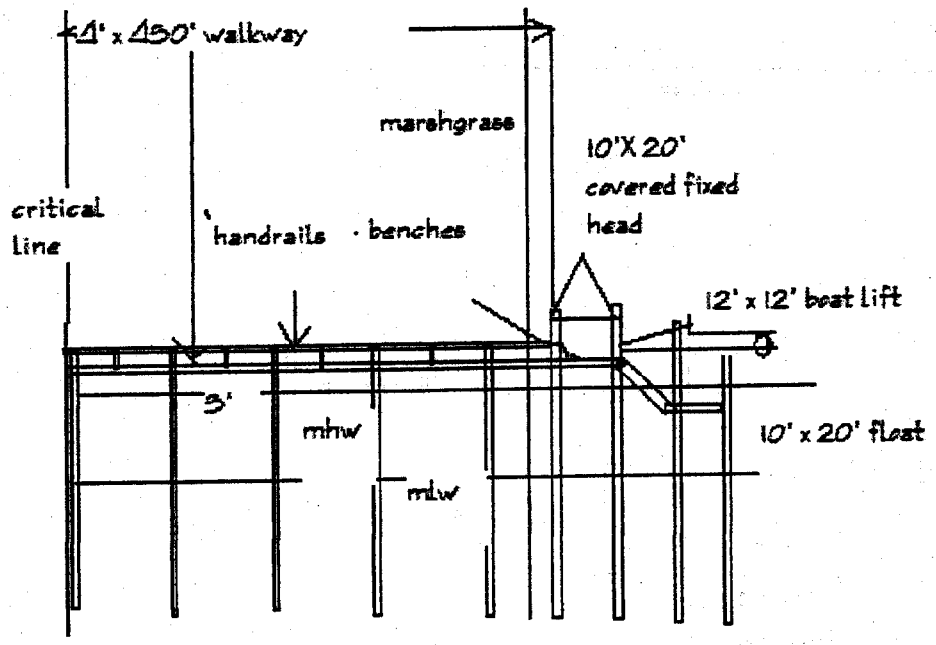
OCRM-06-146-M

DRAWN BY: AHS III	PROPOSED ACTIVITY CONSTRUCT PRIVATE/RESIDENTIAL DOCK LOT 49 PHASE 1 POPLAR GROVE TEN SHILLINGS WAY, TOWN OF HOLLYWOOD CHARLESTON COUNTY, SOUTH CAROLINA TAX MAP No. 203-12-00-004	APPLICANT: LINCOLN GROOMS 4385 TEN SHILLINGS WAY HOLLYWOOD, SC
DATE: MAY 4, 2006		
DWG. NO.: 06150A		



OCRM-06-146-M

5-16-06 NTS



LINCOLN GROOMS
4385 TEN SWILLING WAY
HOLLYWOOD, S.C

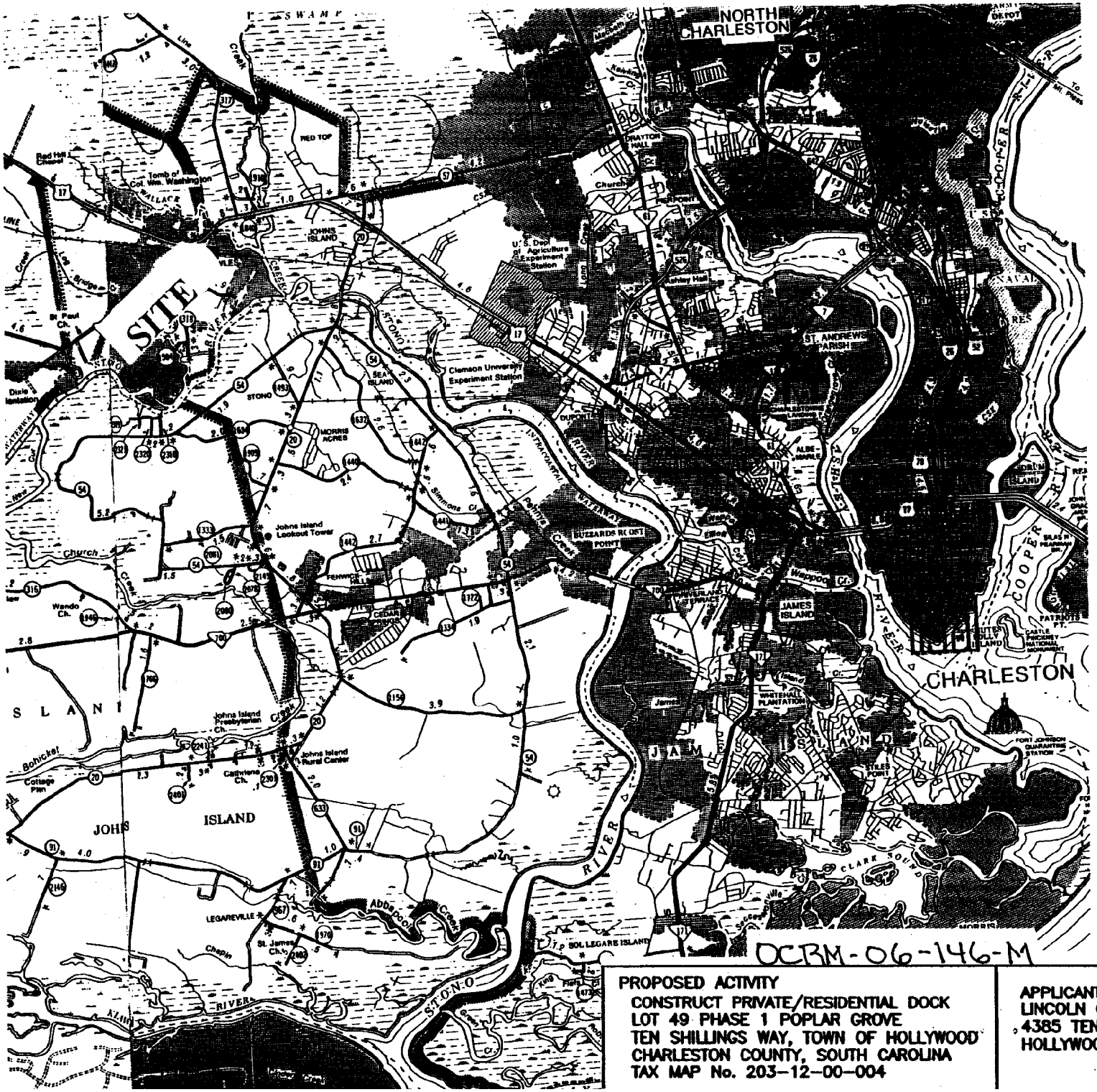
ADJACENT PROPERTY OWNER
1 SIMONINS BUILDERS
2- POPULAR GROVE
DEVELOPMENT

COX MARINE CONTRACTORS
LICENSE # 15449
LAWTON COX

Lawton Cox

NOT TO SCALE

OCRM-06-146-M



OCRM-06-146-M

PROPOSED ACTIVITY
CONSTRUCT PRIVATE/RESIDENTIAL DOCK
LOT 49 PHASE 1 POPLAR GROVE
TEN SHILLINGS WAY, TOWN OF HOLLYWOOD
CHARLESTON COUNTY, SOUTH CAROLINA
TAX MAP No. 203-12-00-004

APPLICANT:
LINCOLN GROOMS
4385 TEN SHILLINGS WAY
HOLLYWOOD, SC

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM-06-147-M
Permit ID: 54839

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: Danny Lyons
C/O Cox Marine
3420 Maybank Hwy.
Johns Island, SC 29455

LOCATION: On and adjacent to Horse Shoe Creek at 2604 Jenkins Point Road, Seabrook Island, Charleston County, South Carolina.
TMS#: 149-00-00-018.

WORK: The work as proposed and shown on the attached plans consists of constructing a dock. Specifically, the structure will have a 4' by 352' walkway with handrails leading to a 4' by 8' covered fixed pierhead with handrails and benches. On the upstream side of the pierhead a ramp will lead to an 8' by 16' floating dock. The applicant also proposes to install a 10' by 18', four-pile boatlift on the downstream side of the proposed pierhead. The purpose of the proposed activity is for the applicant's private recreational use.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006. For further information please contact the project manager for this activity, Fred Mallett at 843-747-4323 ext. 119.

PLEASE REPLY TO:

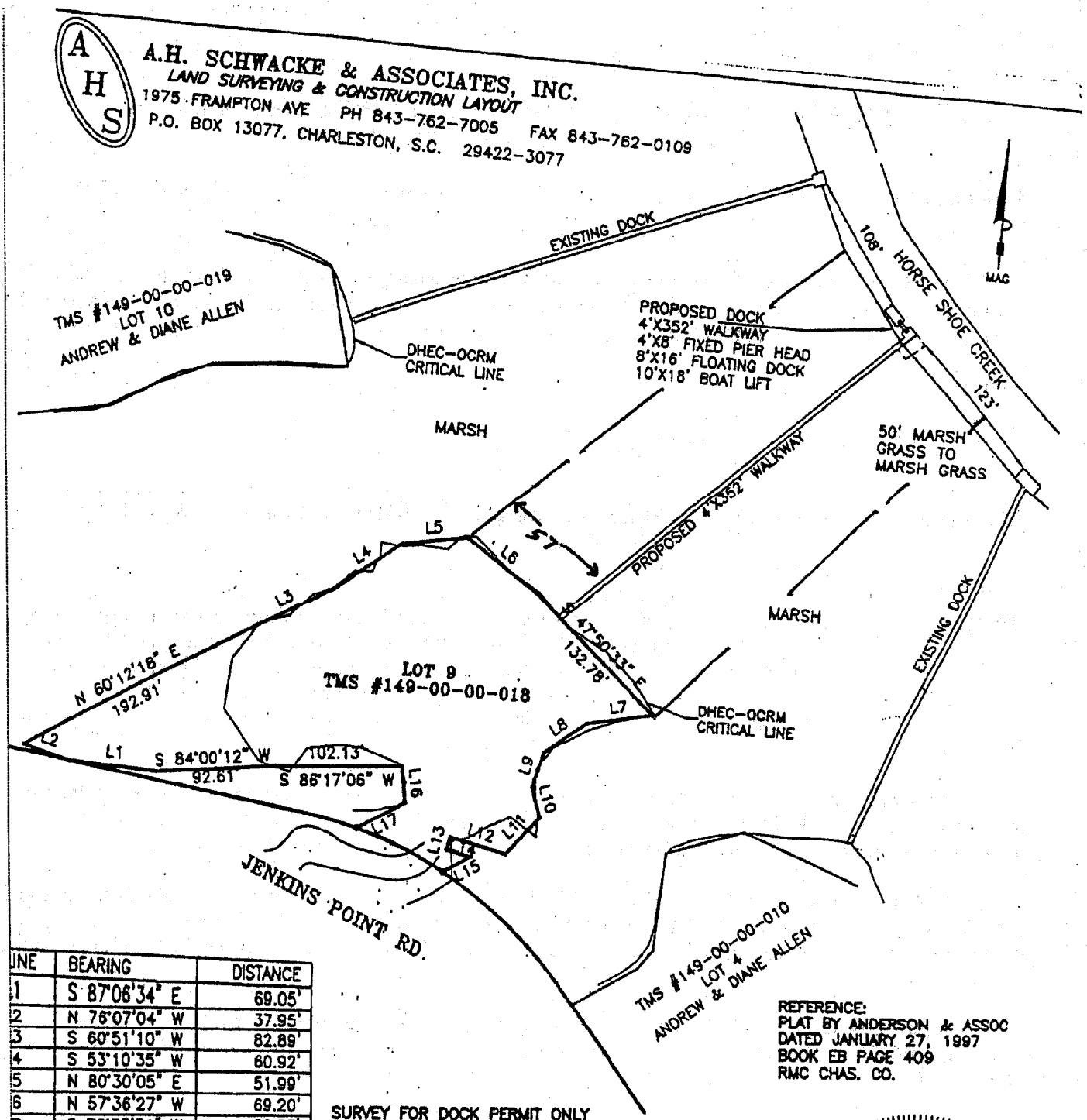
SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
1362 McMillan Avenue, Suite 400
Charleston, South Carolina 29405

Please refer to P/N# OCRM-06-147-M

Tess Rodgers, Regulatory Coordinator

m

A.H. SCHWACKE & ASSOCIATES, INC.
LAND SURVEYING & CONSTRUCTION LAYOUT
1975 FRAMPTON AVE PH 843-762-7005 FAX 843-762-0109
P.O. BOX 13077, CHARLESTON, S.C. 29422-3077



LINE	BEARING	DISTANCE
1	S 87°06'34" E	69.05'
2	N 76°07'04" W	37.95'
3	S 60°51'10" W	82.89'
4	S 53°10'35" W	60.92'
5	N 80°30'05" E	51.99'
6	N 57°36'27" W	69.20'
7	S 78°53'51" W	52.23'
8	N 54°10'25" E	40.32'
9	N 17°25'27" E	27.60'
10	N 18°28'56" W	24.00'
11	N 41°11'29" E	39.17'
12	S 76°51'35" E	46.35'
13	S 13°08'25" W	10.00'
14	N 76°51'35" W	20.17'
15	N 61°51'02" E	24.95'
16	S 08°43'29" E	27.02'
17	N 59°39'40" E	41.98'

REFERENCE:
PLAT BY ANDERSON & ASSOC
DATED JANUARY 27, 1997
BOOK EB PAGE 409
RMC CHAS. CO.

SURVEY FOR DOCK PERMIT ONLY
NOT A PROPERTY LINE SURVEY

NO PORTION OF THE DOCK IS TO BE CONSTRUCTED AS TO EXTEND BEYOND 1/4 OF THE CREEK'S WIDTH MEASURED FROM SHORELINE TO SHORELINE
THE DOCK OR ANY BOAT MOORED AT THIS DOCK DOES NOT IMPEDE OR UNDULY RESTRICT NAVIGATION AT ANY STAGE OF THE TIDE CYCLE
ALL PORTIONS OF THE DOCK ARE CONSTRUCTED AS TO REMAIN A MINIMUM OF 20' OFF OF THE ADJOINING DOCK CORRIDOR LINES

SOUTH CAROLINA
A.H. SCHWACKE & ASSOCIATES, INC.
No. 000004
CERTIFICATE OF AUTHORIZATION

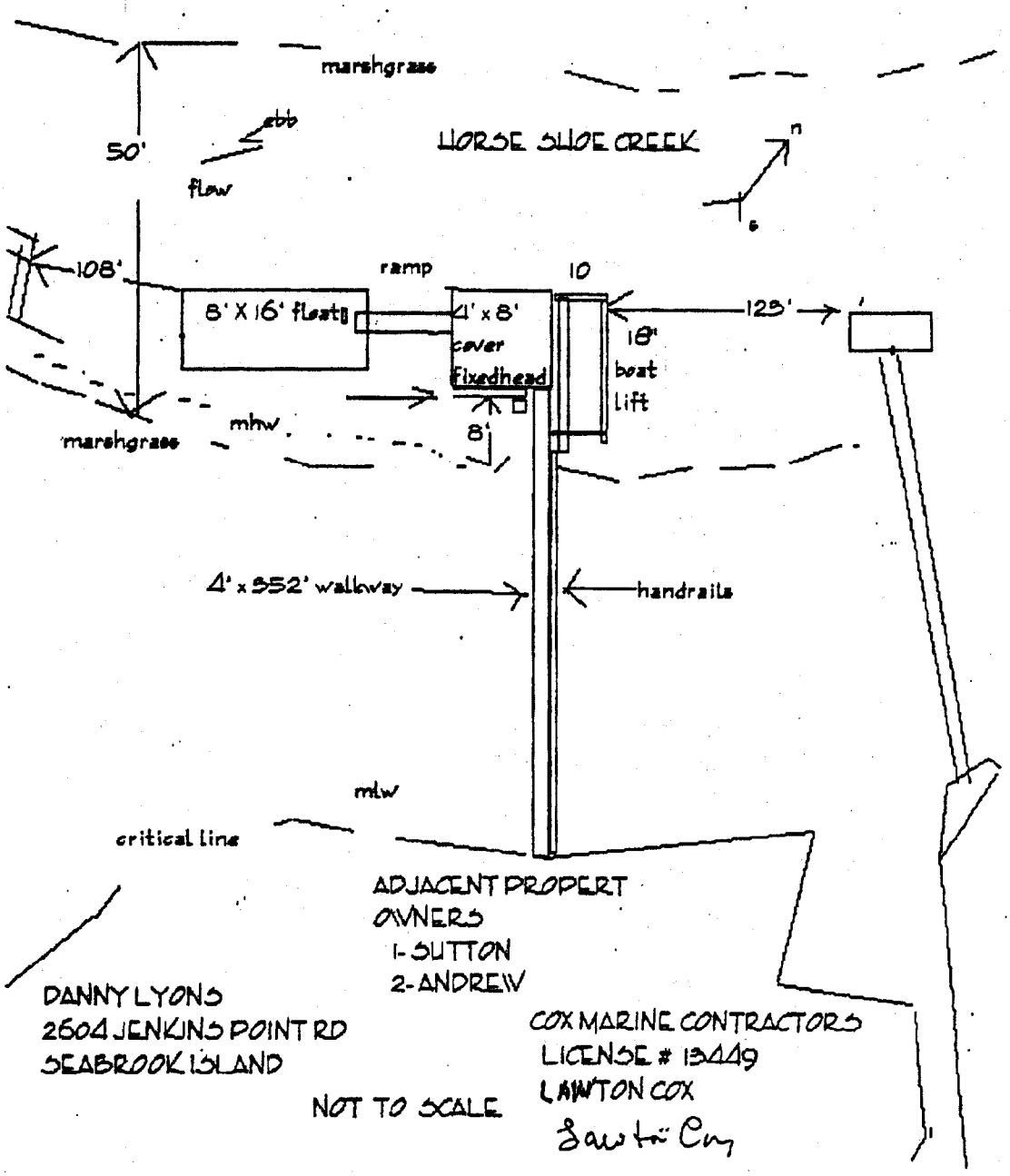
DRAWN BY: AHS III
DATE: APRIL 12, 2006
JOB. NO.: 06097

PROPOSED ACTIVITY
CONSTRUCT PRIVATE/RESIDENTIAL DOCK
PT JENKINS POINT PLANTATION
TRACT A PHASE II LOT 9
SEABROOK ISLAND CHARLESTON COUNTY
SOUTH CAROLINA

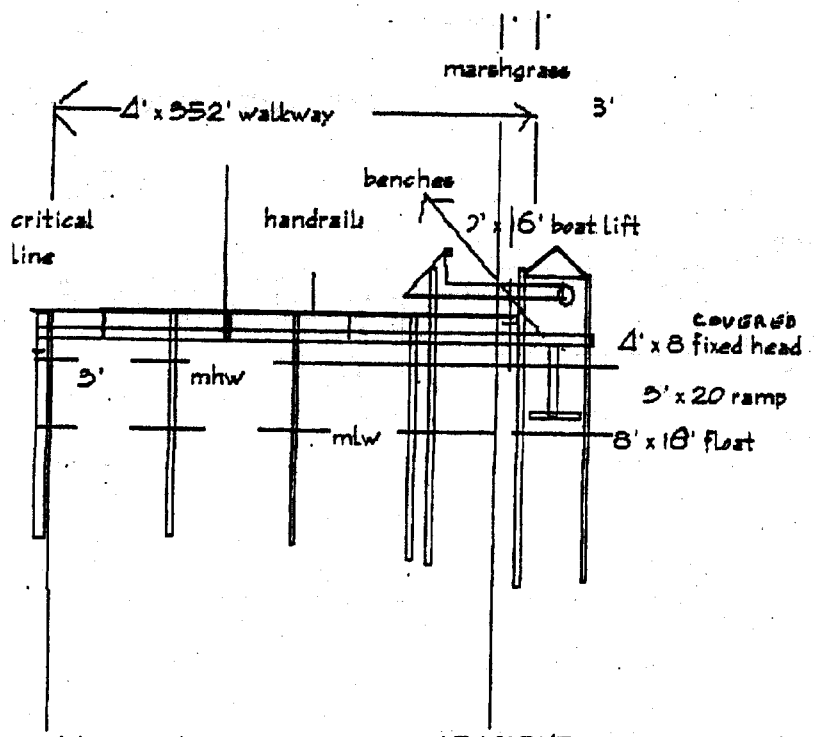
APPLICANT:
DANNY LYONS
2604 JENKINS POINT
SEABROOK ISLAND

TAX MAP No. 149-00-00-018

OCRM-06-147-M


marshgrass
ebb
50'
flow
HORSE SHOE CREEK
n
108'
ramp
10
8' X 16' float
4' x 8'
cover
Fixedhead
125'
18'
boat
lift
mhw
8'
marshgrass
4' x 552' walkway
handrails
mlw
critical line
ADJACENT PROPERT
OWNERS
1- SUTTON
2- ANDREW
DANNY LYONS
2504 JENKINS POINT RD
SEABROOK ISLAND
COX MARINE CONTRACTORS
LICENSE # 13449
LAWTON COX
NOT TO SCALE

OCRM-06-147-M



DANNY LYONS
2604 JENKINS POUINT RD
SEABROOK ISLAND, SC

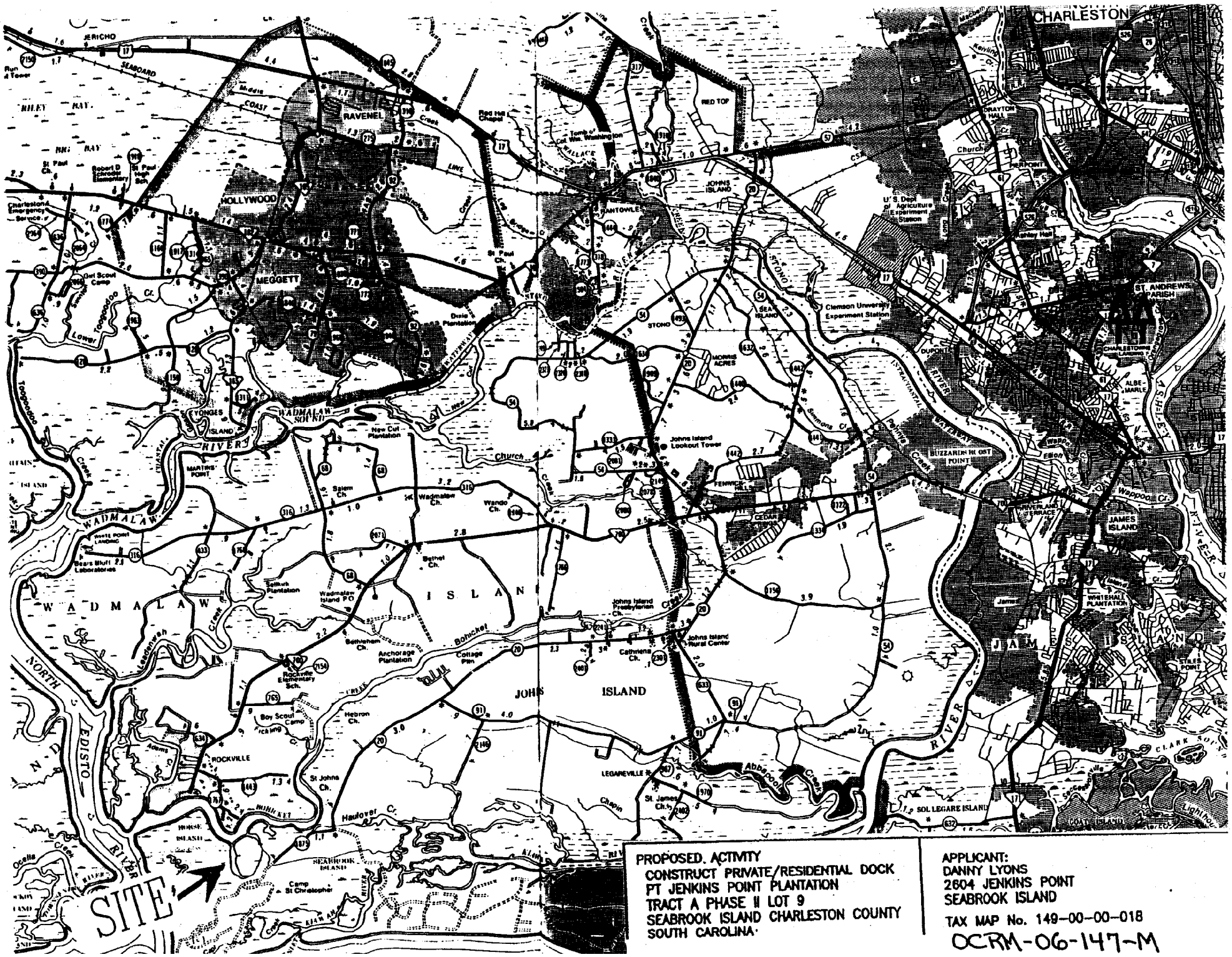
ADJCAENT PROPERTY OWNERS 1-
SUTTON
2-ANDREW

COX MARINE CONTRACTORS
LICENSE # 15449

NOT TO SCALE

LAWTON COX

OCRM-06-147-M



PROPOSED. ACTIVITY
CONSTRUCT PRIVATE/RESIDENTIAL DOCK
PT JENKINS POINT PLANTATION
TRACT A PHASE II LOT 9
SEABROOK ISLAND CHARLESTON COUNTY
SOUTH CAROLINA

APPLICANT:
DANNY LYONS
2604 JENKINS POINT
SEABROOK ISLAND

TAX MAP No. 149-00-00-018

OCRM-06-147-M

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM-06-149-G
Permit ID: 54847

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: Trenchards Island, Inc.
C/o Harold A. Boney
P. O. Box 1151
Beaufort, S. C. 29901

LOCATION: On and adjacent to Trenchards Island, which is located at the confluence of Trenchards Inlet and the Story River, Beaufort County, South Carolina.
TMS#: 300-038-000-0002-0000

WORK: The applicant has proposed to construct a private dock from a .79 acre island to Trenchards Inlet. The dock will consist of a 4' by 475' walkway leading to a 16' by' 16 fixed pierhead with a roof. On the channel side of the pierhead a gangway will lead to a 10' by 32' floating dock and a catwalk will lead to a 12.5' by 13' boat lift. The purpose of the proposed activity is for the owner's private recreational use. The applicant has been required to demonstrate valid ownership of the island through the Attorney General's office.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006. For further information please contact the project manager for this activity, George Madlinger at 843-846-9400.

PLEASE REPLY TO:

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
1362 McMillan Avenue, Suite 400
Charleston, South Carolina 29405

Please refer to P/N# OCRM-06-149-G

Tess Rodgers, Regulatory Coordinator

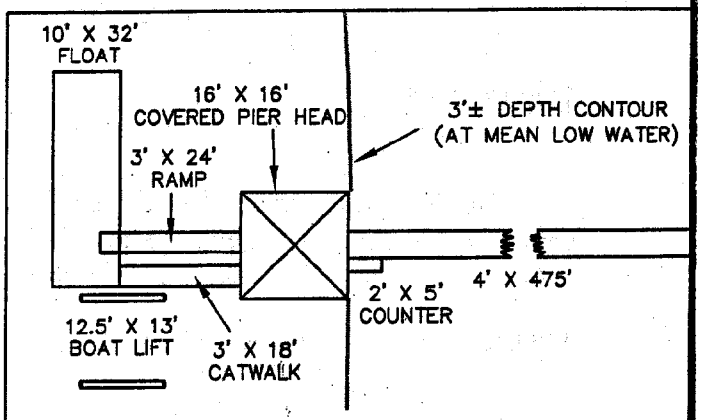
m

SOUTH CAROLINA
GASQUE & ASSOCIATES, INC.
No. C00192
CERTIFICATE OF AUTHORIZATION

GASQUE & ASSOCIATES INC.

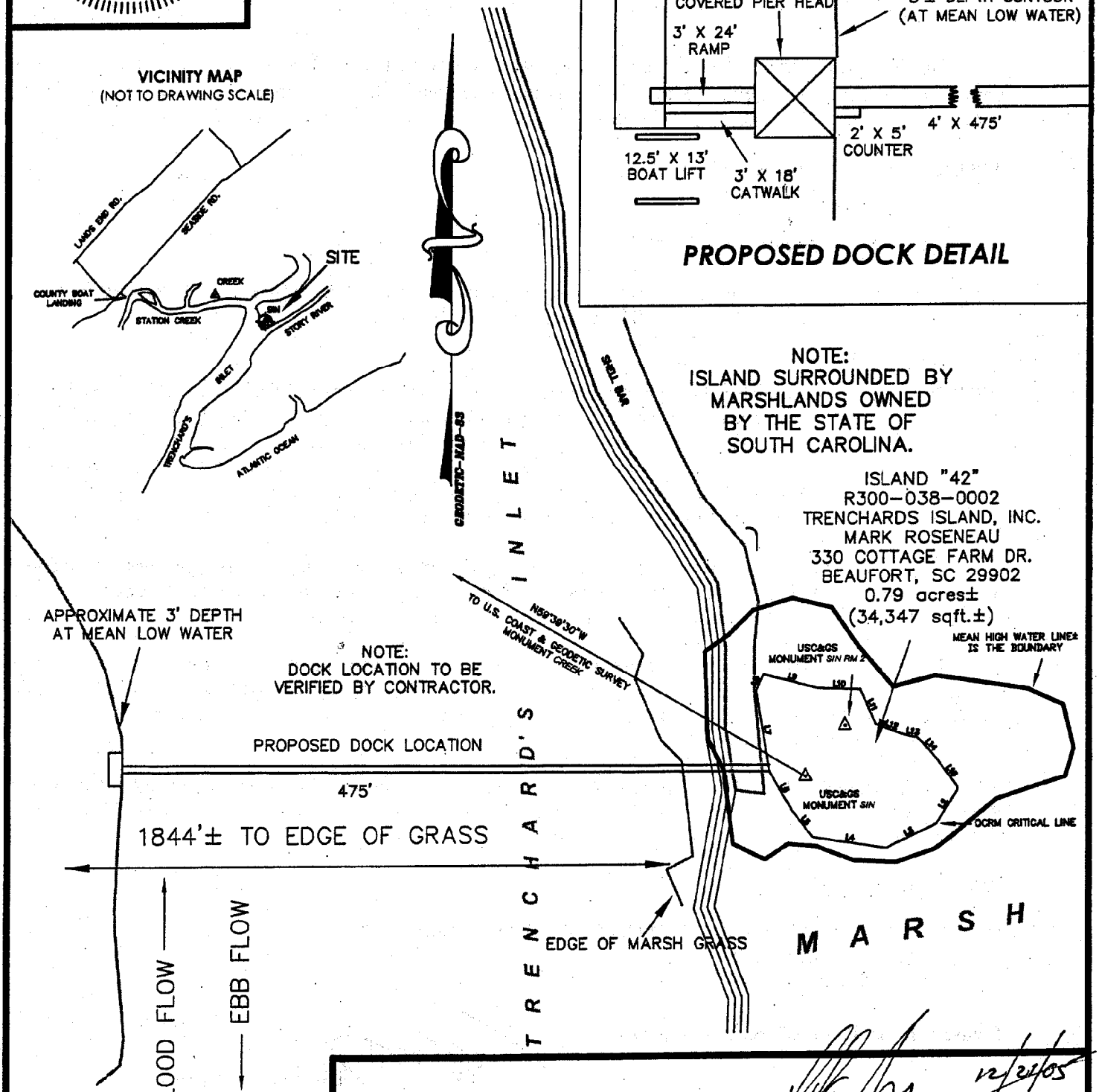
LAND SURVEYORS & PLANNERS

28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.
P.O. BOX 1363, BEAUFORT, S.C.
PHONE (843) 522-1798



PROPOSED DOCK DETAIL

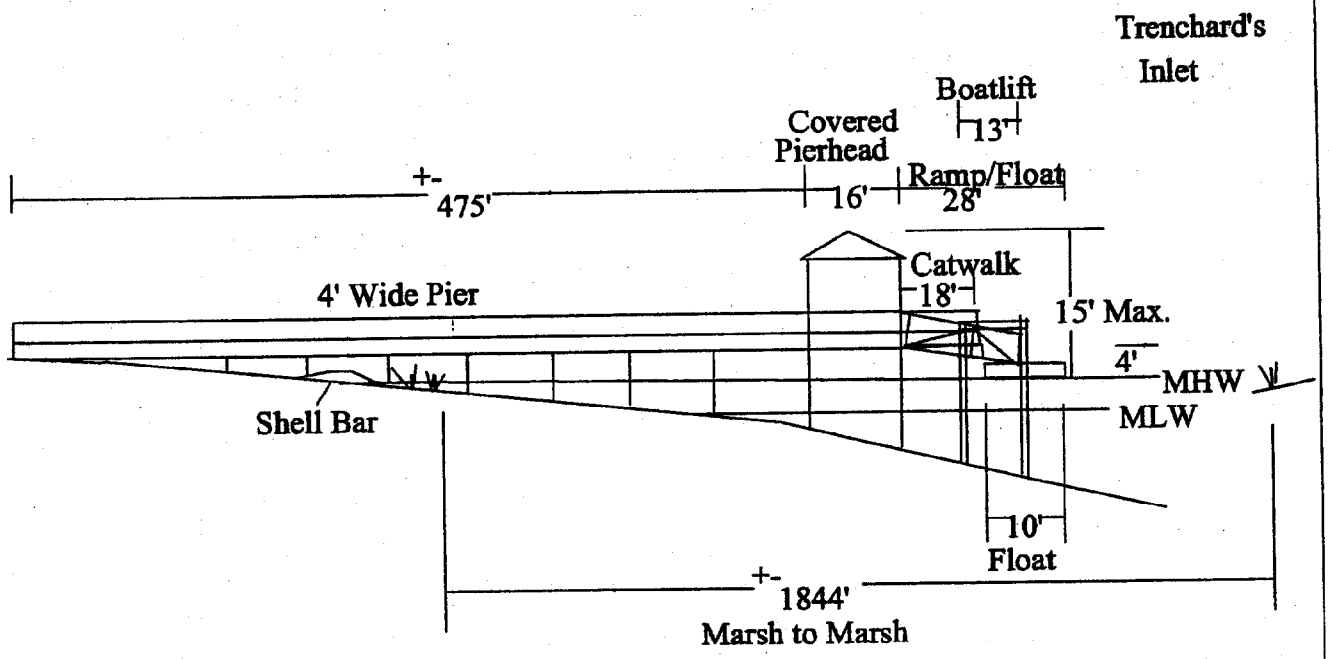
VICINITY MAP
(NOT TO DRAWING SCALE)



PROPOSED DOCK PLAN
PREPARED FOR MARK ROSENEAU
SCALE: 1"=100'

12/21/05
David E. Gasque, R.L.S.
S.C. Registration Number 10506

Job# 30338/ DRAWN BY: BP



Section View

NTS

Submitted by: Daniel Schultz
Atlantic Marine Const. Co. Inc.
G-13268

APPLICANT: Mark Roseneau

ACTIVITY: Private/Residential Dock

OCRM #

LOCATION: Island # 42 Trenchards Inlet
(Approx. Trenchards Inlet and Story River Intersection)
R300-038-0002

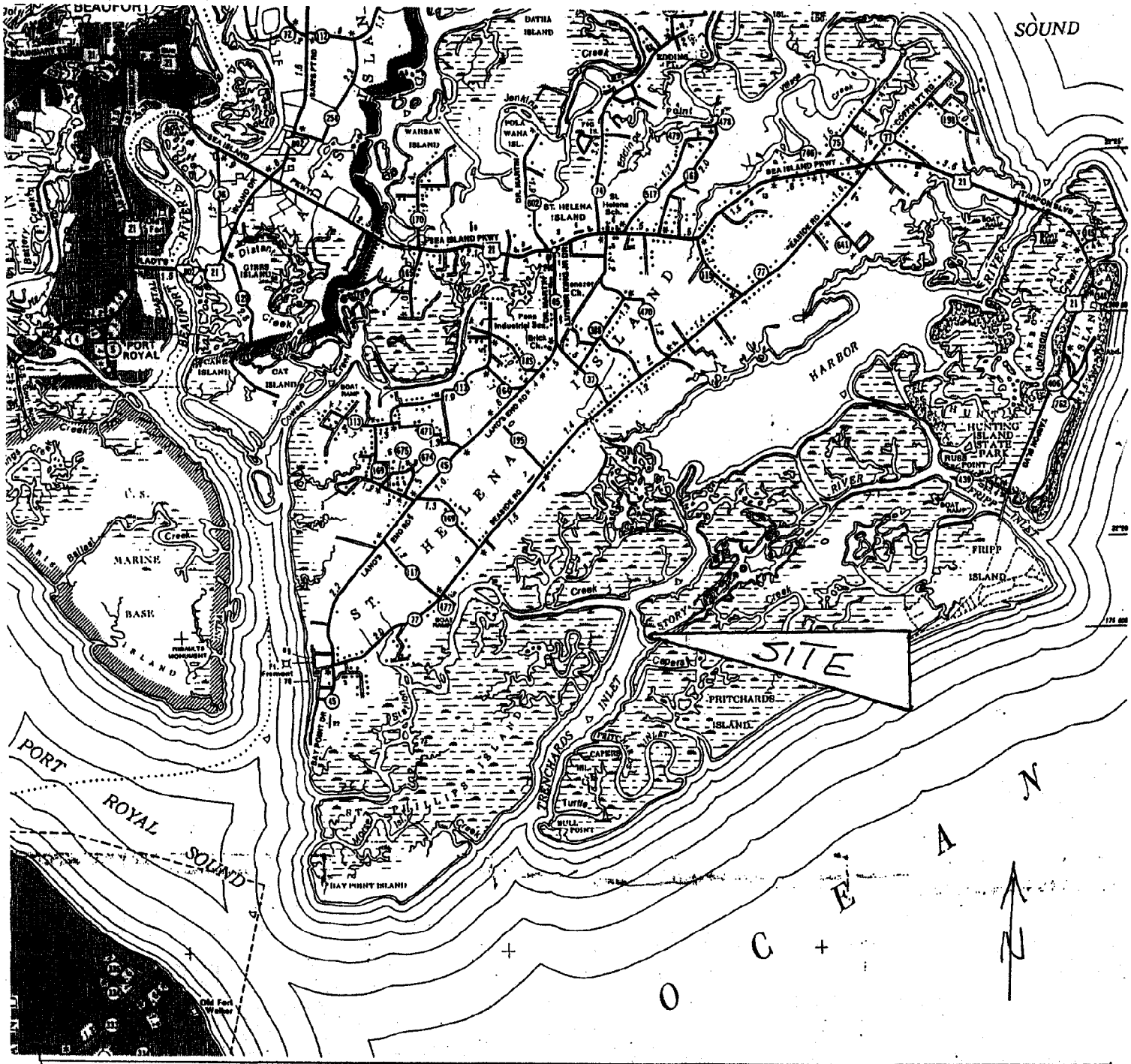
COUNTY: Beaufort

DATE: 12-23-05

ADJACENT NIEGHBORS:

1. None

2. None



APPLICANT: Mark Roseneau

ACTIVITY: Private/Residential Dock

OCRM #

LOCATION: Island # 42 Trenchards Inlet
(Approx. Trenchards Inlet and Story River Intersection)
R300-038-0002

COUNTY: Beaufort

DATE: 12-23-05

ADJACENT NIEGHBORS:

1. None

2. None

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM-06-150-R
Permit ID: 54848

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: Scott Bradley
C/O Dock Docks Inc
673 Oak Marsh Dr
Mount Pleasant, SC 29464

LOCATION: On and adjacent to Hobcaw Creek at 751 Lakenhealth Dr, Point Pleasant, Mount Pleasant, Charleston County, South Carolina.
TMS#: 559-03-00-046.

WORK: The work as proposed and shown on the attached plans consists of modifying an existing dock. The applicant seeks to turn the existing floating dock perpendicular from the original location and add a 12' x 12', four-pile boatlift. The work as described is for the applicant's private, recreational use.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006. For further information please contact the project manager for this activity, Tess Rodgers at 843-747-4323 ext.116.

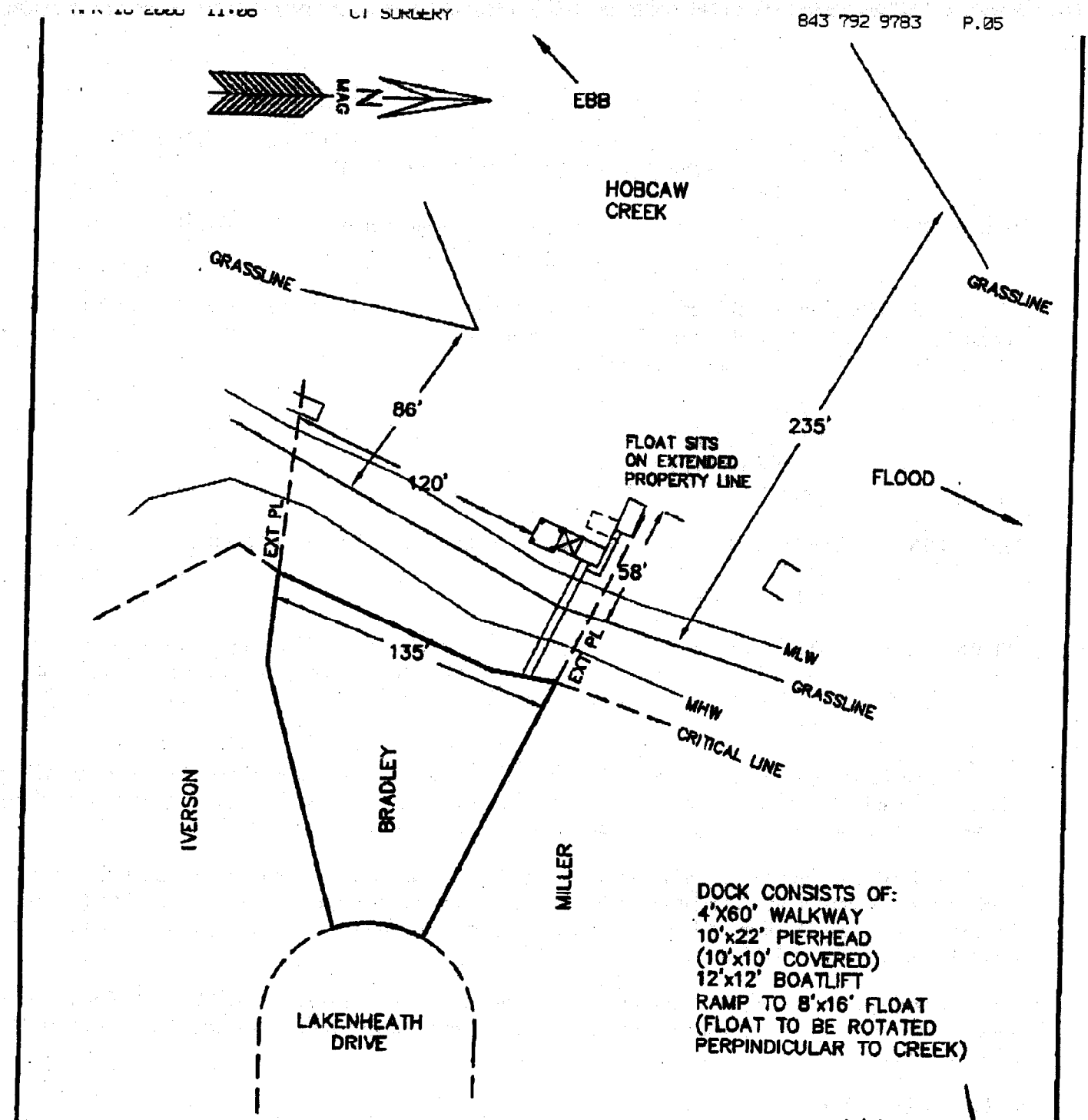
PLEASE REPLY TO:

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
1362 McMillan Avenue, Suite 400
Charleston, South Carolina 29405

Please refer to P/N# OCRM-06-150-R

Tess Rodgers, Regulatory Coordinator

m



DOCK CONSISTS OF:
4'X60' WALKWAY
10'x22' PIERHEAD
(10'x10' COVERED)
12'x12' BOATLIFT
RAMP TO 8'x16' FLOAT
(FLOAT TO BE ROTATED PERPINDICULAR TO CREEK)

APPLICANT: SCOTT BRADLEY
751 LAKENHEATH DRIVE
POINT PLSEASANT SUBDIVISION
MOUNT PLEASANT
CHARLESTON COUNTY
TMS# 559-03-00-046
HOBCAW CREEK

FILE #220-05

RECONFIGURE
EXISTING PRIVATE
RECREATIONAL
DOCK

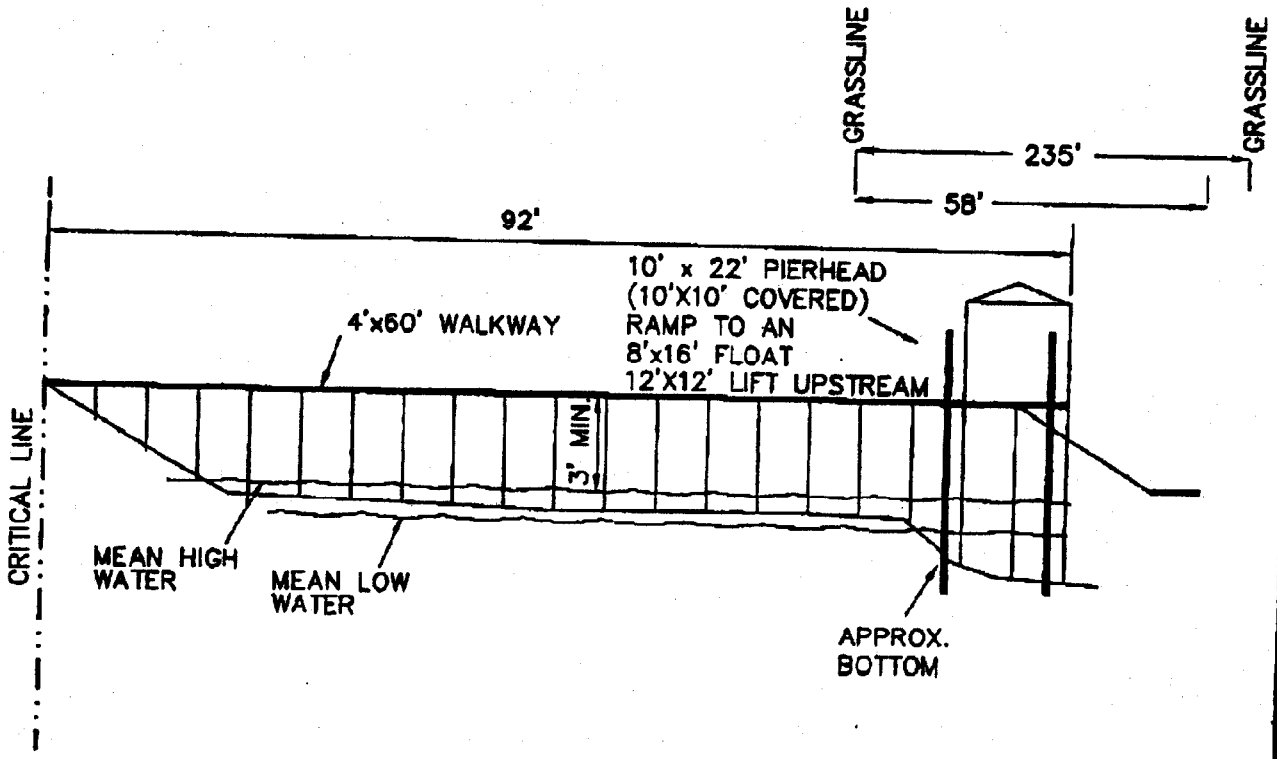
DATE: JANUARY 17, 2006
SCALE: 1" = 60'

60 0 60

SOUTH CAROLINA PROFESSIONAL REG. LAND SURVEYOR No. 13171 E. WADE JR.

SMB

OCRM-06-150-R



APPLICANT: SCOTT BRADLEY 751 LAKENHEATH DRIVE POINT PLSEASANT SUBDIVISION MOUNT PLEASANT CHARLESTON COUNTY TMS#: 559-03-00-046 HOBCAW CREEK FILE #220-05	RECONFIGURE EXISTING PRIVATE RECREATIONAL DOCK DATE: JANUARY 17, 2006 NO SCALE

STATE OF SOUTH CAROLINA
PROFESSIONAL
REG. NO. 13471
LAND SURVEYOR
E. WADE JR.

SMB

OCRM-06-150-R

Total Est. Time: 19 minutes **Total Est. Distance:** 11.96 miles

START	**1:** Start out going WEST on MCMILLAN AVE / 3RD ST toward AVENUE D.	0.1 miles
	2: Turn LEFT onto AVENUE E S.	0.1 miles
	3: Turn RIGHT onto COSGROVE AVE EXT.	0.1 miles
	4: COSGROVE AVE EXT becomes COSGROVE AVE.	1.0 miles
	5: COSGROVE AVE becomes SC-7.	0.1 miles
EAST 26	**6:** Merge onto I-26 E toward CHARLESTON.	3.4 miles
NORTH 17	**7:** Merge onto US-17 N via EXIT 220 toward MT PLEASANT / GEORGETOWN.	5.5 miles
	8: Turn LEFT onto ANNA KNAPP BLVD.	0.3 miles
	9: Turn RIGHT onto MATHIS FERRY RD.	0.3 miles
	10: Turn LEFT onto MILDENHALL RD.	0.2 miles
	11: Turn LEFT onto LAKENHEATH DR.	0.1 miles
END	**12:** End at **751 Lakenheath Dr** Mt Pleasant, SC 29464-5142, US — Bradley	

Total Est. Time: 19 minutes **Total Est. Distance:** 11.96 miles

Printer-friendly page sponsored by HP

OCRM-06-150-R

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM-06-151-L
Permit ID: 54852

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: Stonebridge Development Group
C/O Carolina Custom Docks
2266 United Drive
Huger, SC 29450

LOCATION: On and adjacent to Ashley River at Lot 1 Plantation Isle, North Charleston, Charleston County, South Carolina.
TMS#: 410-00-00-067.

WORK: The work as proposed and shown on the attached plans consists of constructing a private dock. Specifically, a 4' x 270' walkway with handrails will lead to a 15' x 20' covered fixed pierhead with handrails. In addition, a 10' x 30' floating dock is proposed channelward of the fixed pierhead. The proposed activity is for the applicant's private recreational use. The proposed project was approved previously by the Army Corps of Engineers and OCRM, however, the previously approved permit No. 99-1E-007 has expired with OCRM but is still valid with the Corps.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006. For further information please contact the project manager for this activity, Melissa Rada at 843-747-4323 ext. 122.

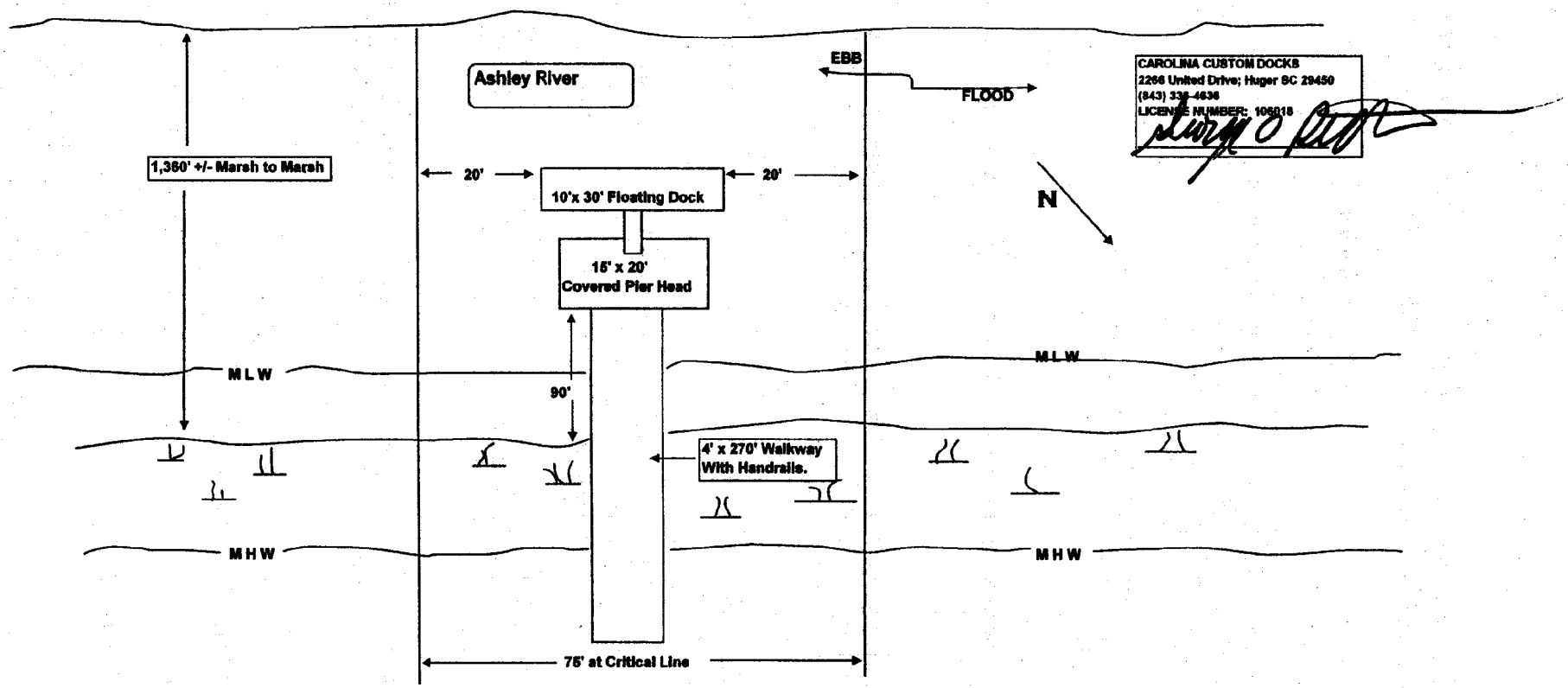
PLEASE REPLY TO:

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
1362 McMillan Avenue, Suite 400
Charleston, South Carolina 29405

Please refer to P/N# OCRM-06-151-L

Tess Rodgers, Regulatory Coordinator

m



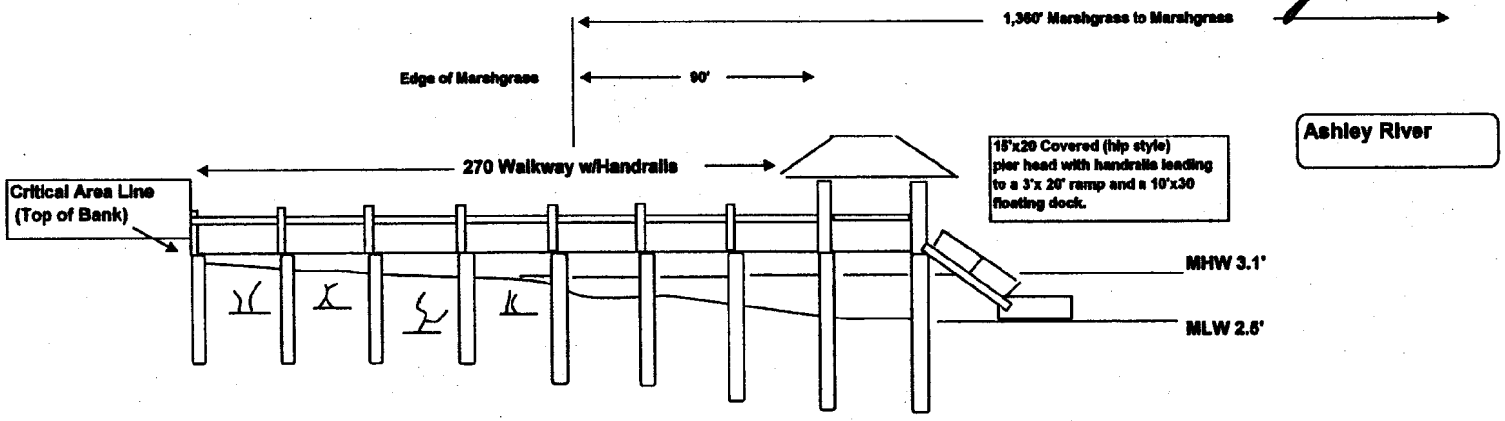
DRAWING NOT TO SCALE

APPLICANT: Stonebridge Development Group LLC
ACTIVITY: Private Recreational Dock
P/N #: OCRM-06-151-L

LOCATION: Lot #1, Stoney Poynt Ct.
North Charleston SC 29402
COUNTY: Charleston
DATE: May 15, 2006

ADJACENT PROPERTY OWNERS:
1. Grambling Brothers
2. Kurt Weinberger

CAROLINA CUSTOM DOCKS
2266 United Drive; Huger SC 29450
(843) 336-4636
LICENSE NUMBER: 106018

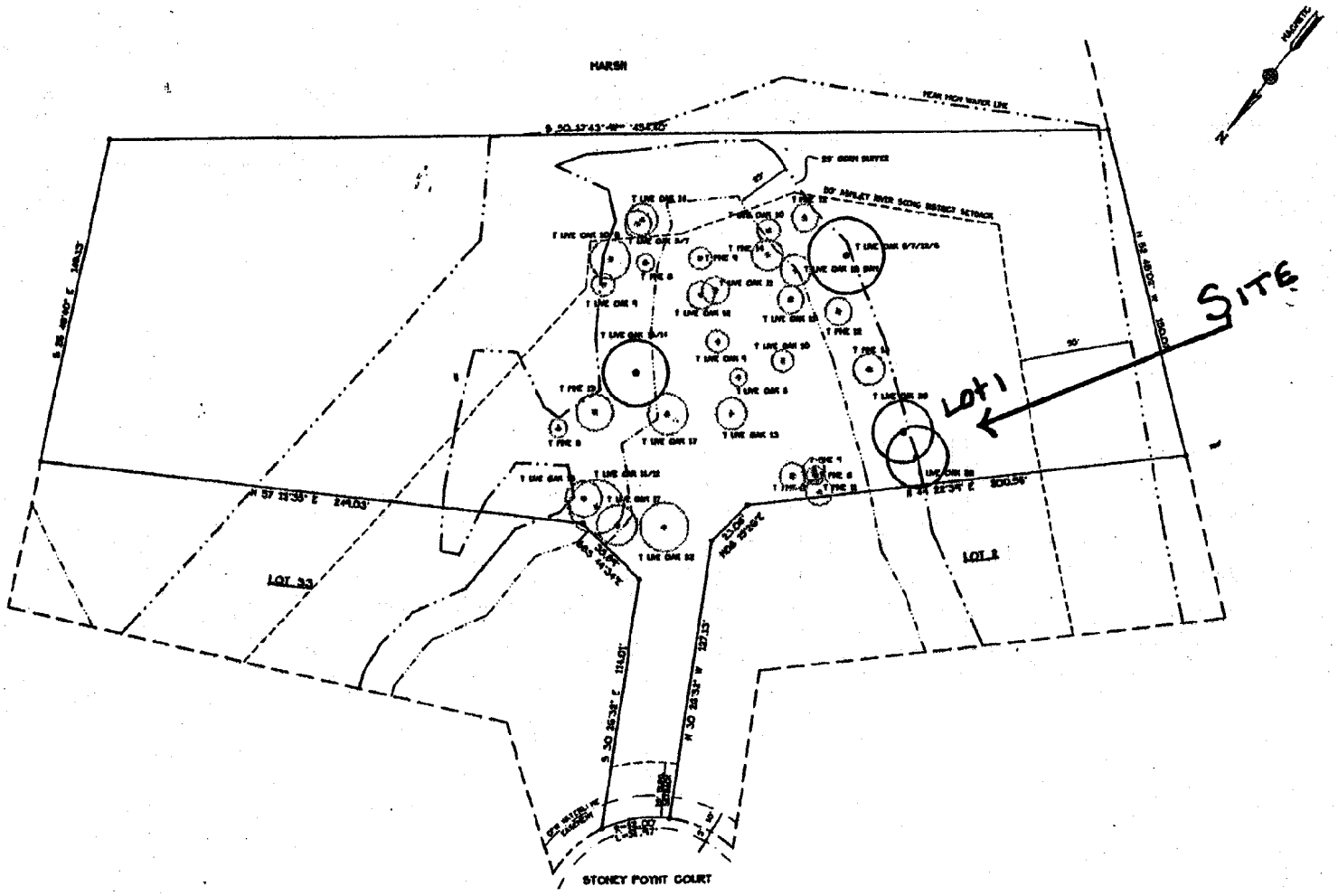


DRAWING NOT TO SCALE

APPLICANT: Stonebridge Development Group LLC
ACTIVITY: Private Recreational Dock
P/N #: OCRM-06-151-L

LOCATION: Lot #1, Stoney Poynt Ct.
North Charleston SC 29402
COUNTY: Charleston
DATE: May 15, 2006

ADJACENT PROPERTY OWNERS:
1. Grambling Brothers
2. Kurt Weinberger



PLOT PLAN SHOWING LOT 1
PLANTATION ISLE
LOCATED THE CITY OF NORTH CHARLESTON, CHARLESTON COUNTY, SOUTH CAROLINA

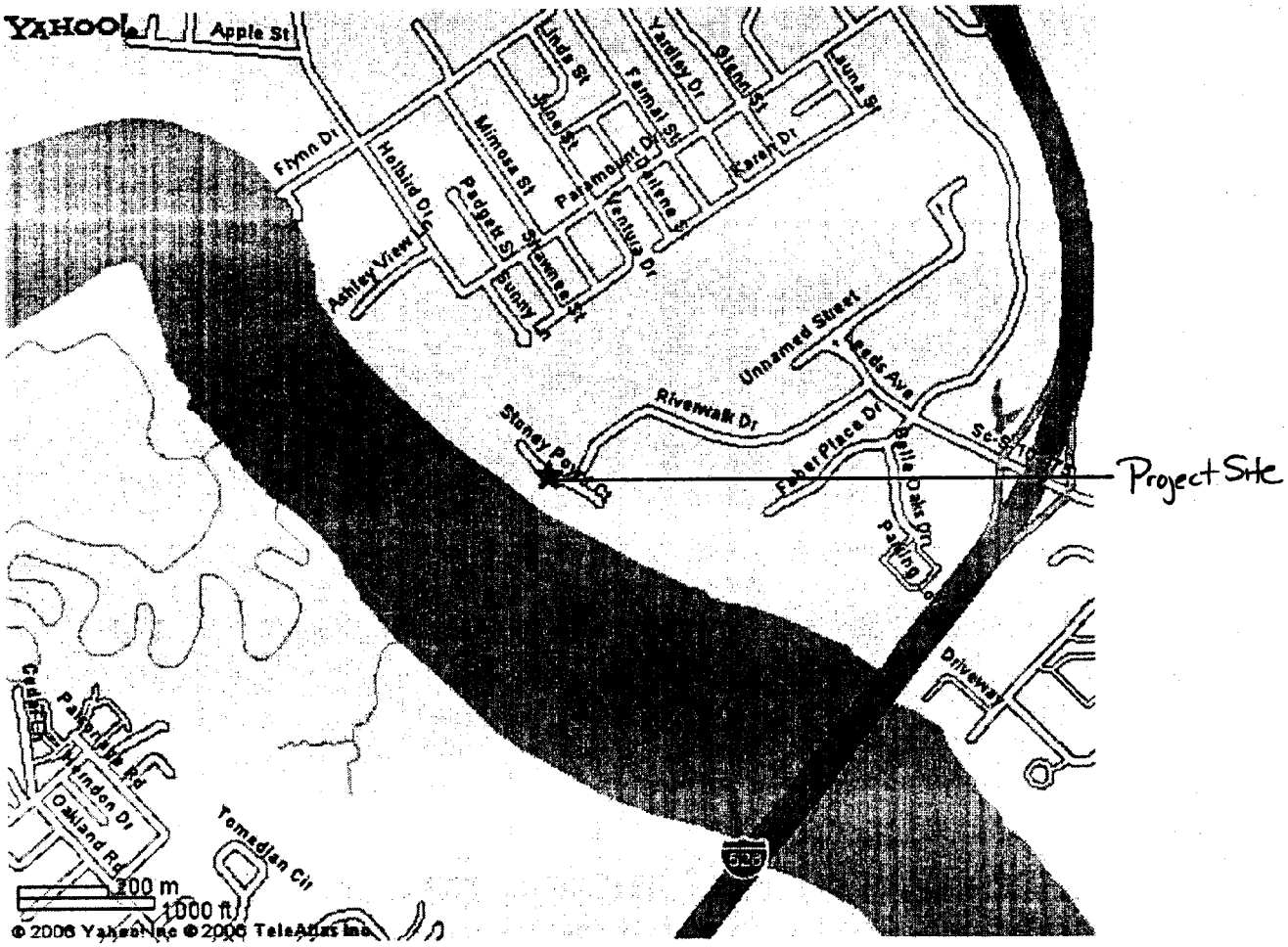
SCALE: 1" = 30' DATE: JUNE 20, 2008
FLOOD ZONE VE ELEV 12 + 13.3, 450310 CHS4 J & REVISED NOVEMBER 17, 2004
NOTE: ALL ELEVATIONS ARE NOT BASED ON NGVD
TIECO ENGINEERING CONSULTANTS, INC.
6420 BELLE OAKS DRIVE, CITY OF NORTH CHARLESTON, SC 29420
TEL: (843) 740-7700 FAX: (843) 740-7701 N-001/000-0000 JAL

OCRM-06-151-L

Yahoo! Maps - Charleston, SC

« Back to Map

★ **Stoney Poynt Charleston, SC**



When using any driving directions or map, it's a good idea to do a reality check and make sure the road still exists, watch out for construction, and follow all traffic safety precautions. This is only to be used as an aid in planning.

OCRM-06-151-L

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM 06-516
Permit ID: 54461

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: Charles Cox
C/o Mr. Joe Floyd, The Brigman Company
P. O. Box 1532
Murrells Inlet, S. C. 29576

LOCATION: On and adjacent to Alston Creek at 5217 Horry Drive, Murrells Inlet, Georgetown County, South Carolina.
TMS#: 41-0126-003-00-00.

WORK: The work, as proposed, consists of the construction of a 4' by 28' walkway (w/handrails) leading to a 10' by 8' fixed dock (with handrails) and a 8' by 10' floating dock (located downstream from the fixed dock). Also proposed, is a 12' by 16' boat lift that will be constructed adjacent to and upstream of the fixed dock. The purpose of the proposed activity is for the applicant's private, recreational use.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006. For further information please contact the project manager for this activity at 843-238-4528.

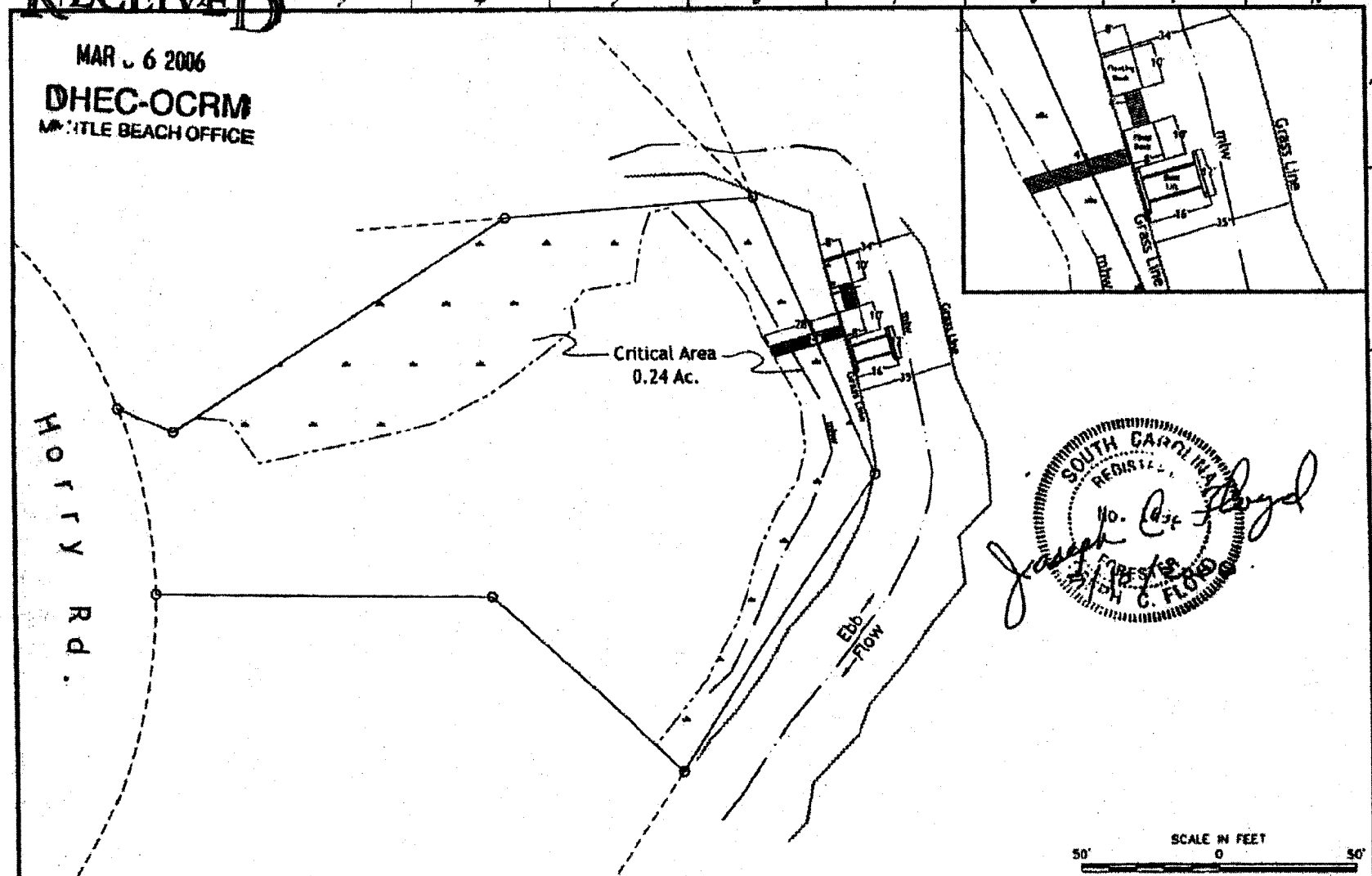
PLEASE REPLY TO:

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
927 Shine Avenue
Myrtle Beach, SC 29577

Please refer to P/N# OCRM 06-516

Curtis M. Joyner, Manager of Critical Area Permitting

m



THE WETLAND DELINEATIONS USED IN PREPARING THIS WETLAND MASTER PLAN HAVE BEEN DONE IN ACCORDANCE WITH CORPS. OF ENGINEER'S METHODS AND TECHNIQUES AND ARE AN ACCURATE REPRESENTATION OF ALL JURISDICTIONAL WETLANDS WITHIN THE PROJECT. THE DELINEATION HAS BEEN REVIEWED AND APPROVED BY THE CORPS. AND ASSIGNED THE FOLLOWING DELINEATION NUMBER: SAC 81-2005-1277-3

SCALE IN FEET
50' 0 50'

N W E S

PLAN VIEW

LOT 3, BLOCK 4, DINES SUBDIVISION
GEORGETOWN COUNTY, SOUTH CAROLINA
DOCK PERMIT APPLICATION

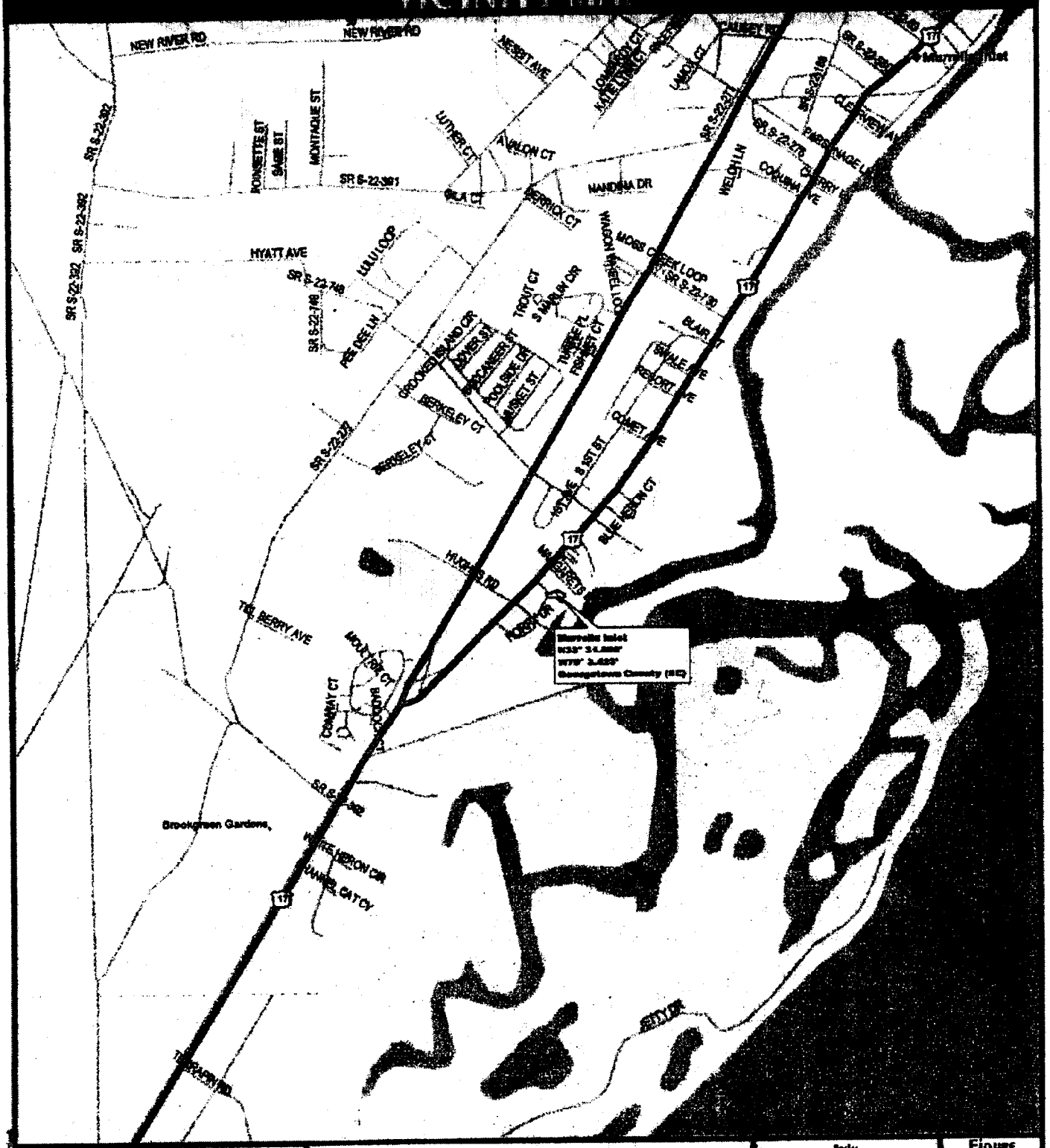
DATE: 2/10/06 PAGE 3/4
APPLICATION NO. _____

TOTAL PROP. AREA	0.76 ACRES
ORIG. WETLANDS	0.24 ACRES
WETLAND FILL	n/a
WETLAND EXCAVATION	n/a
UPLAND BUFFER	n/a
WETLAND PRESERVATION	n/a
WETLAND RESTORATION	n/a

M:\JOBS\2005\00007-05204\Drawings\Permit\plan

AGENT: THE BRIGMAN COMPANY, INC., P.O. BOX 1532, CONWAY SC 29526 (843) 248-9388 FAX: (843) 248-9596

VICINITY MAP

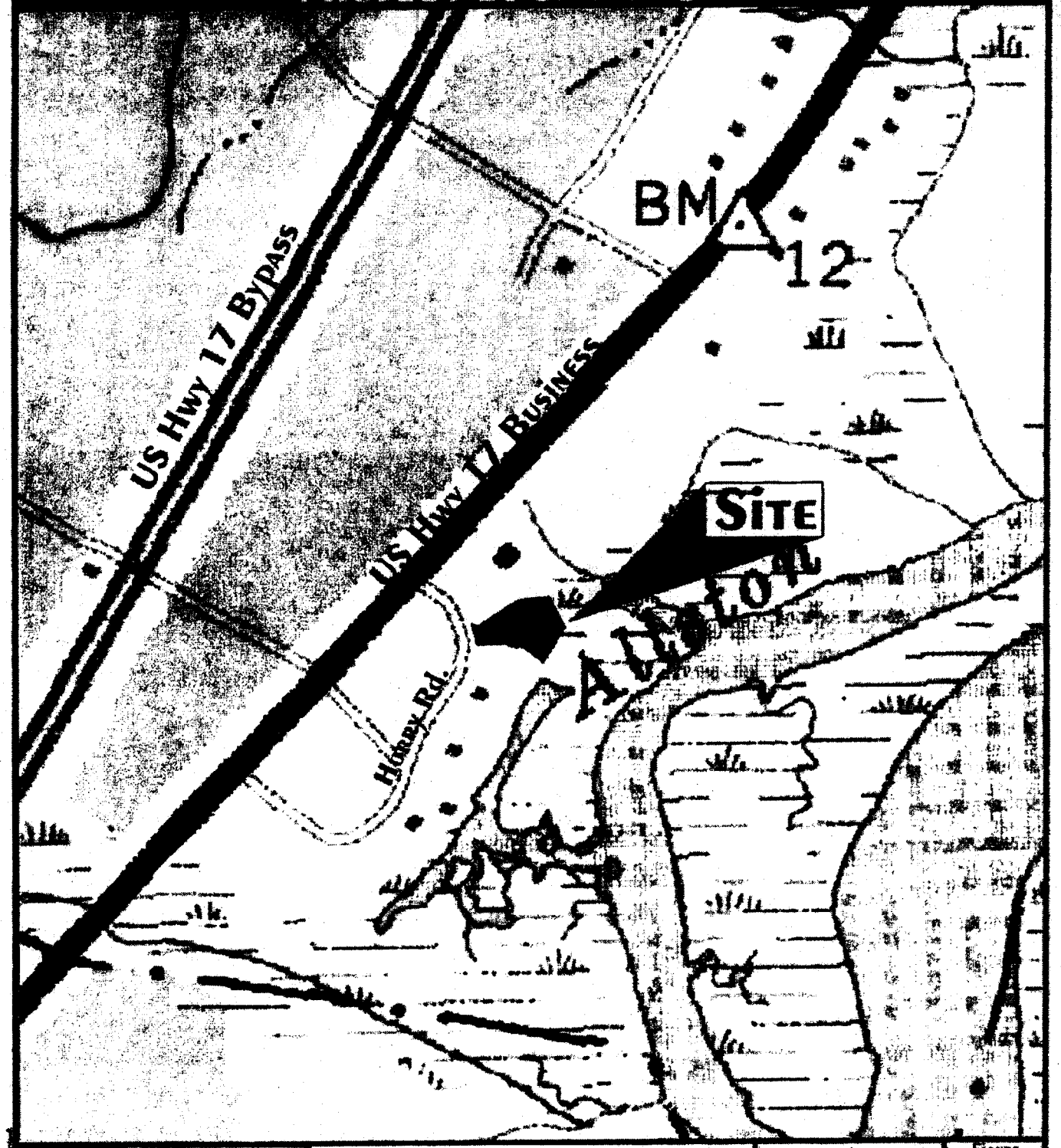


THE BRYGMAN COMPANY INCORPORATED	LOT 3, BLOCK 4 DINES POINT S/D	Scale N.T.S.	FIGURE 1
	Prepared for: Chuck Cox	Job No. 05204 / Drawn By BAF	
	Source: DELORME 2004 STREET ATLAS	Date: 2-10-2006	

Wetland Consulting • Forestry Management • www.thebrygmancompany.com • P.O. Box 1952, Conway, SC (843) 216-9538 Fax (843) 248-9596

NAAM plot 5/10 - initial

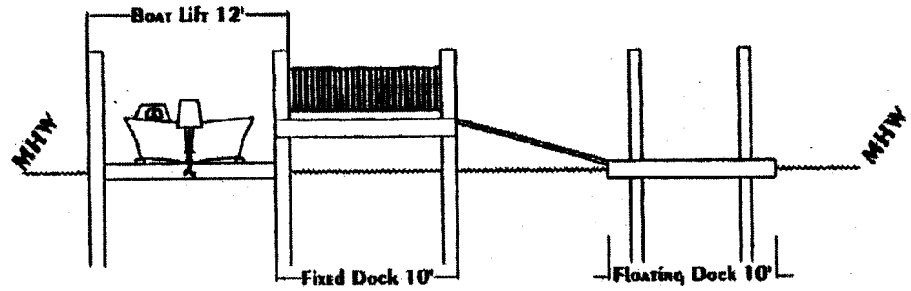
PROJECT LOCATION MAP



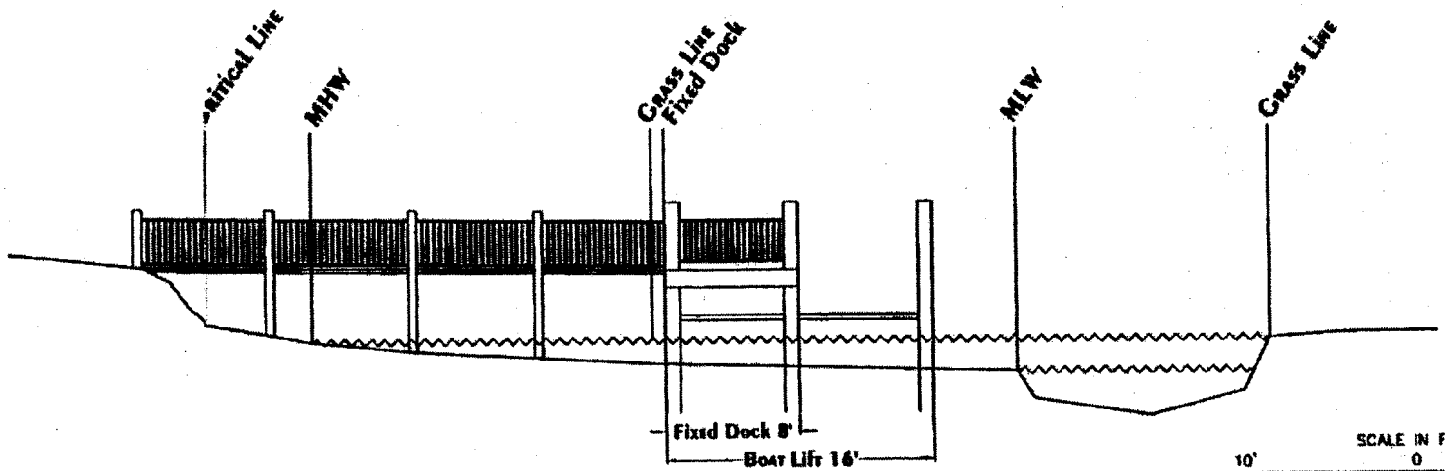
THE BRIGMAN COMPANY INCORPORATED	LOT 3, BLOCK 4 DINES POINT S/D	Scale: N.T.S.	Figure 2
	Prepared for: Chuck Cox	Job No: 05204 / Drawn By: BAF	
	Source: USGS 7.5 Min Quadrangle (Brookgreen)	Date: 2-10-2006	

Wetland Consulting • Forestry Management • www.thebrigmancompany.com P.O. Box 1522, Conway, SC (843) 248-9388 Fax (843) 248-9296

Front Sectional View



Side Sectional View



SCALE IN FEET
10' 0 10'

THE WETLAND DELINEATIOS USED IN PREPARING THIS WETLAND MASTER PAN HAVE BEEN DONE IN ACCORDANCE WITH COPS. OF ENGINEERS METHODS AND TECHNIOUS AND ARE AN ACCURATE REPRESENTATION OF ALL JURISDICTIONAL WETLANDS WITHIN THE PROJECT. TE DELINEATION HAS BEEN REVIEWED AND APPROVEL BY THE CORPS. AND ASSIGNED THE FOLLOWIN(DELINEATION NUMBER: SAC 81-2005-1277-3

SECTION VIEW

LOT 3, BLOCK 4, DINES SUBDIVISION
GEORGETOWN COUNTY, SOUTH CAROLINA
DOCK PERMIT APPLICATION

DATE: 2/10/06 PAGE 4/4
APPLICATION NO.

TOTAL PROP. AREA	0.78 ACRES
ORIG. WETLANDS	0.24 ACRES
WETLAND FILL	n/a
WETLAND EXCAVATION	n/a
UPLAND BUFFER	n/a
WETLAND PRESERVATION	n/a
WETLAND RESTORATION	n/a

M:\JOBS\2005\00007-05204\Drawings\permit\plan
AGENT: THE BRIGMAN COMPANY, INC., P.O. BOX 1532, CONWAY SC 29526 (843) 248-9388 FAX: (843) 248-959

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM-06-526
Permit ID: 54765

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: William Wood
C/o Dr. H. Wayne Beam
Beam, Shannon & Associates
P. O. Box 11863
Columbia, S. C. 29211-1863

LOCATION: On and adjacent to the Intracoastal Waterway at Lot 45 Tidewater Plantation, North Myrtle Beach, Horry County, South Carolina.
TMS#: 131-06-04-027.

WORK: The proposed work will consist of installing a 12' by 12' 4 pile boat lift and a 5' by 5' jet ski adjacent to the existing right side floating dock. The floating dock was authorized under 95-1E-344 and is one of two floating docks as part of a joint use dock. The purpose of the proposed activity is for the owner's private recreational use.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006. For further information please contact the project manager for this activity at 843-238-4528.

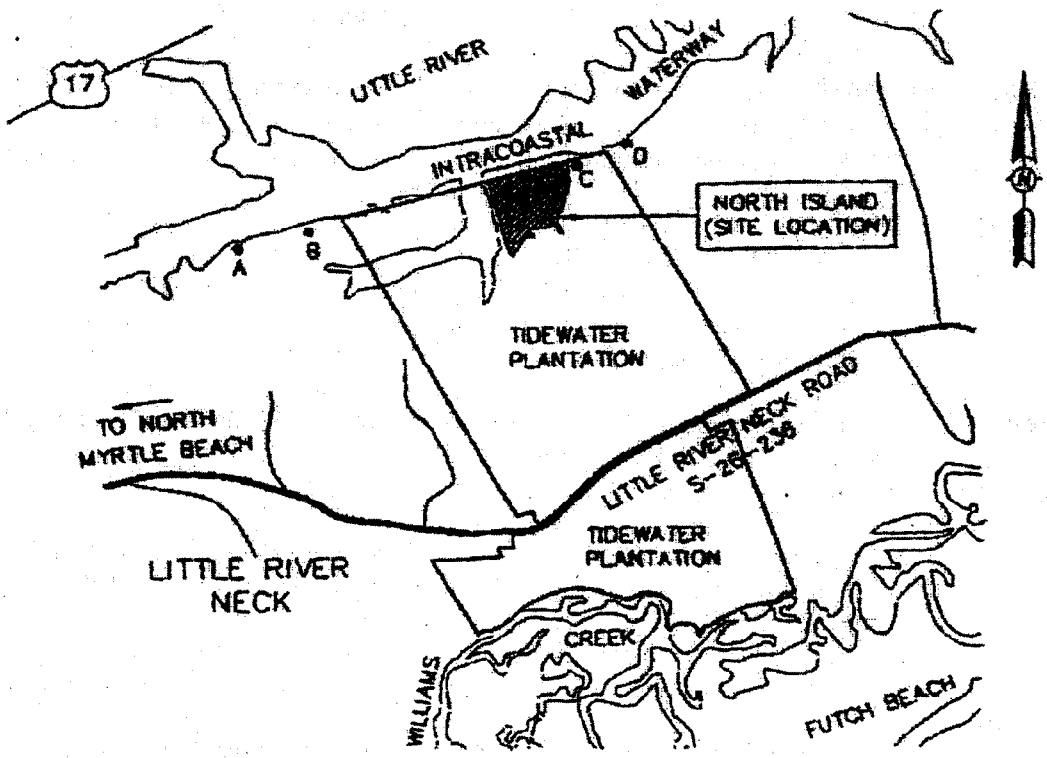
PLEASE REPLY TO:

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
927 Shine Avenue
Myrtle Beach, South Carolina 29577

Please refer to P/N# OCRM-06-526

Tess Rodgers, Regulatory Coordinator

m

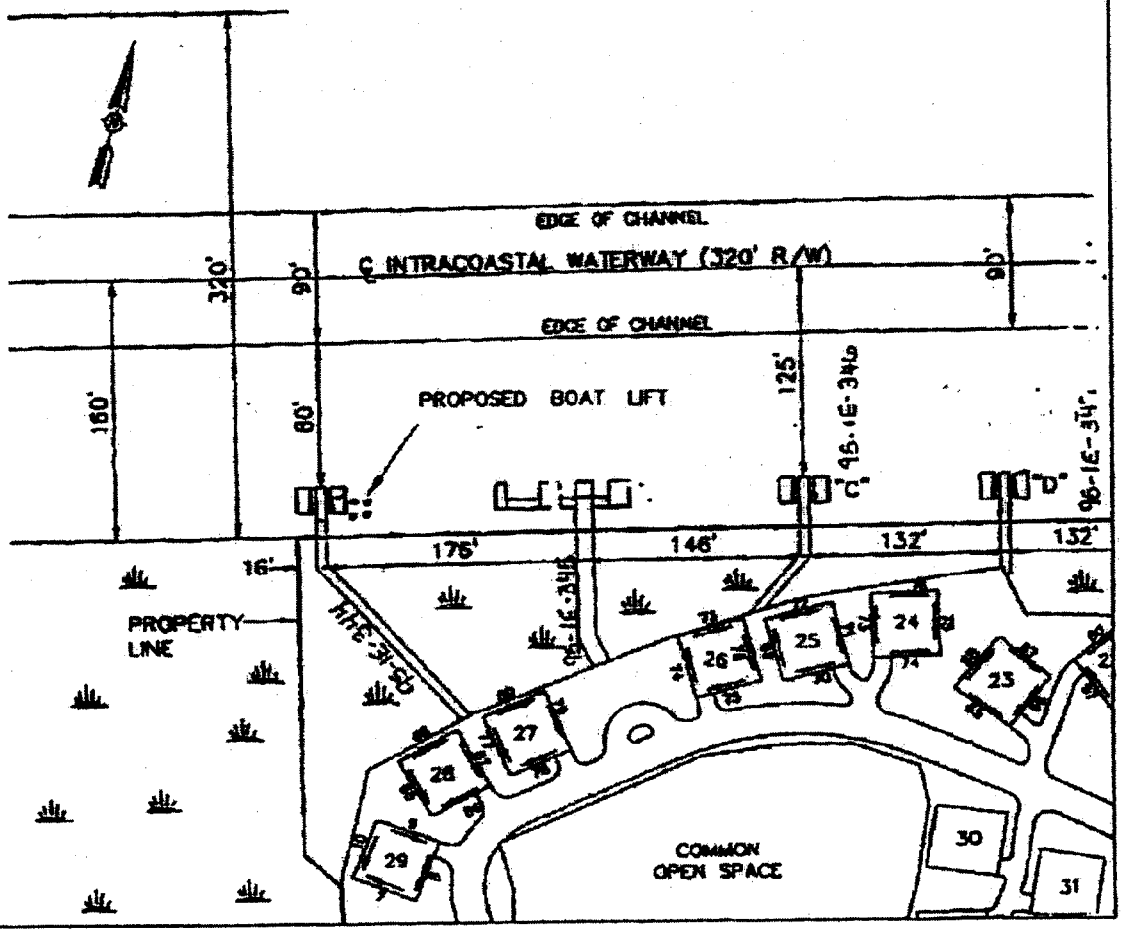


MONUMENT STATION	A	B	C	D
MONUMENT STATION NO.	330+00.00	320+00.00	281+94.46	275+09.21
OFFSET FROM CENTERLINE	250 LT.	250 LT.	250 LT.	250 LT.
DISTANCE FROM OFFSET TO WATERWARD END OF PROPOSED CONSTRUCTION	125'	125'	125'	125'

SITE LOCATION

APPLICANT: WILLIAM WOOD ACTIVITY: Construct Boat Lift P/N#	LOCATION: Tidewater Plantation INTRACOASTAL WATERWAY COUNTY: Horry DATE: 3/7/2006	SHEET 2 OF 5

Pcm-06-526 ID 54745



SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 13278
DAVID R. SIMMS

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

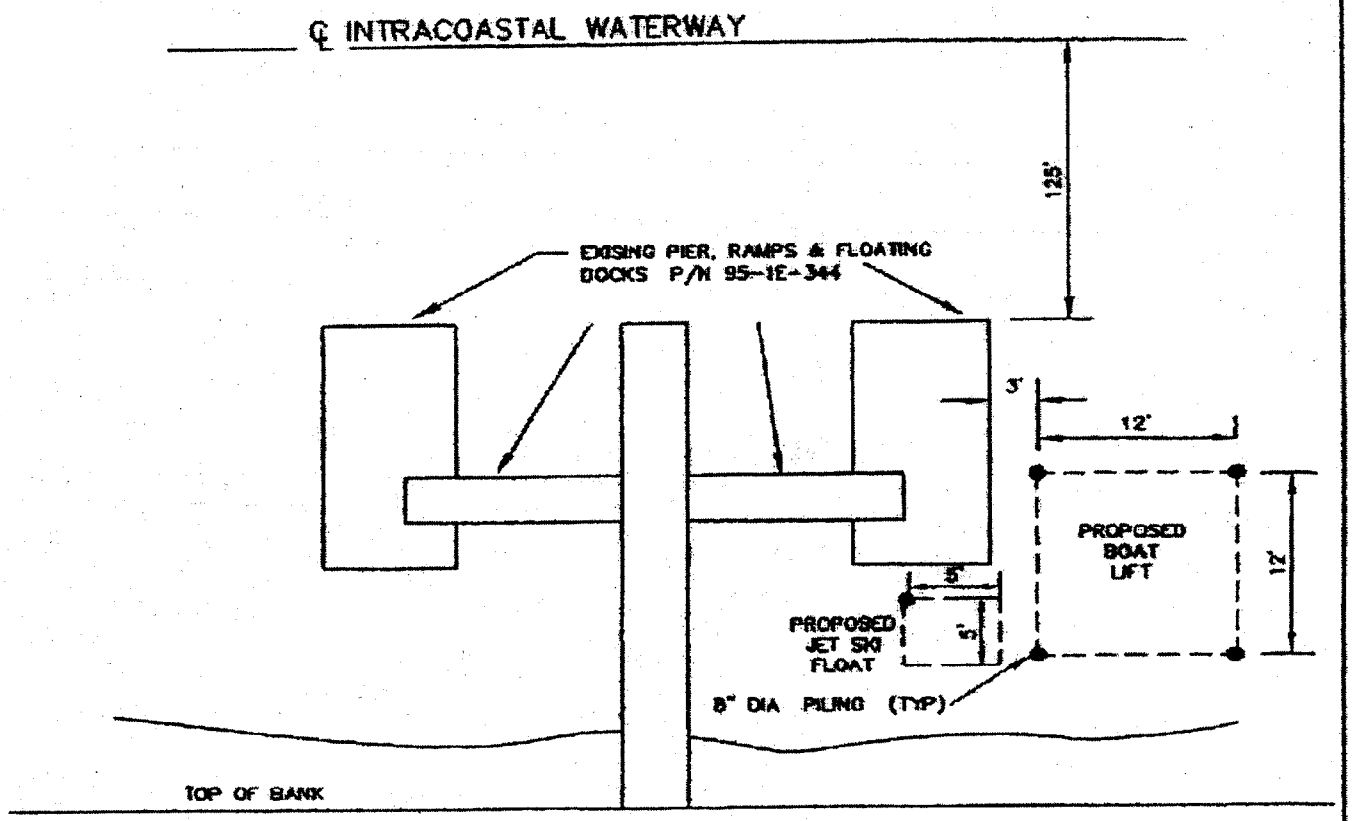
SITE PLAN

0 50 100 200

1"=100'

APPLICANT: WILLIAM WOOD ACTIVITY: Construct Boat Lift P/N#	LOCATION: Tidewater Plantation INTRACOASTAL WATERWAY COUNTY: Horry DATE: 3/7/2006	SHEET 3 OF 5

OCrm-06-526 ID 59765



PIER PLAN

nts

SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER No. 13278 DAVID R. SIMMS

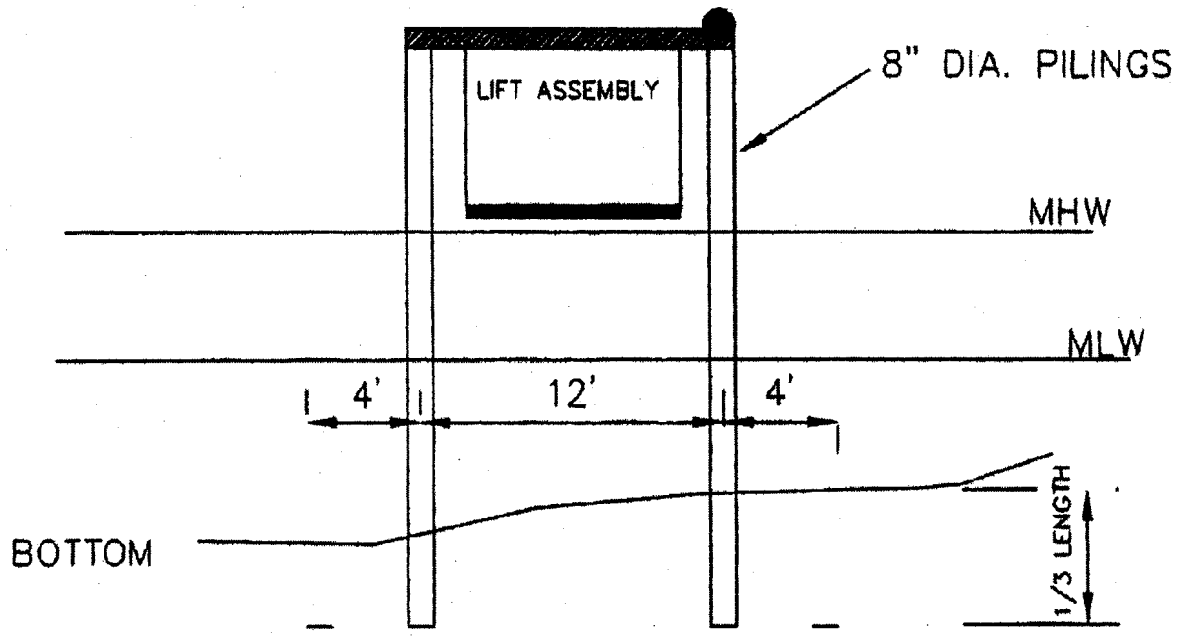
FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

APPLICANT: WILLIAM WOOD ACTIVITY: Construct Boat Lift P/N# OCRM-06-526	LOCATION: Tidewater Plantation INTRACOASTAL WATERWAY COUNTY: Horry DATE: 3/7/2006	SHEET 4 of 5

ID 54765

ARM-06-526

27649



SECTION – BOAT LIFT

NTS

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 13278
DAVID R. SIMMS

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

APPLICANT: WILLIAM WOOD ACTIVITY: Construct Boat Lift P/N#	LOCATION: TIDEWATER PLANTATION Little River Township COUNTY: Horry DATE: 3/7/2006	SHEET 5 of 5

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM-06-527
Permit ID: 54841

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: Archie B. Howell
PO BOX 16034
Surfside Beach, SC 29487

LOCATION: On and adjacent to Mt. Gilead Creek at Lot 64, 599 Old Field Rd., Murrells Inlet, Horry County, South Carolina.
TMS#: 197-17-08-063.

WORK: The work as proposed and shown on the attached plans consists of constructing two adjoining floating docks (6' x 12' and 6' x 16') that will be accessed by a 3' x 16' ramp extending from the existing bulkhead. The proposed activity is for the property owner's private recreational use.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006. For further information please contact the project manager for this activity at 843-238-4528.

PLEASE REPLY TO:

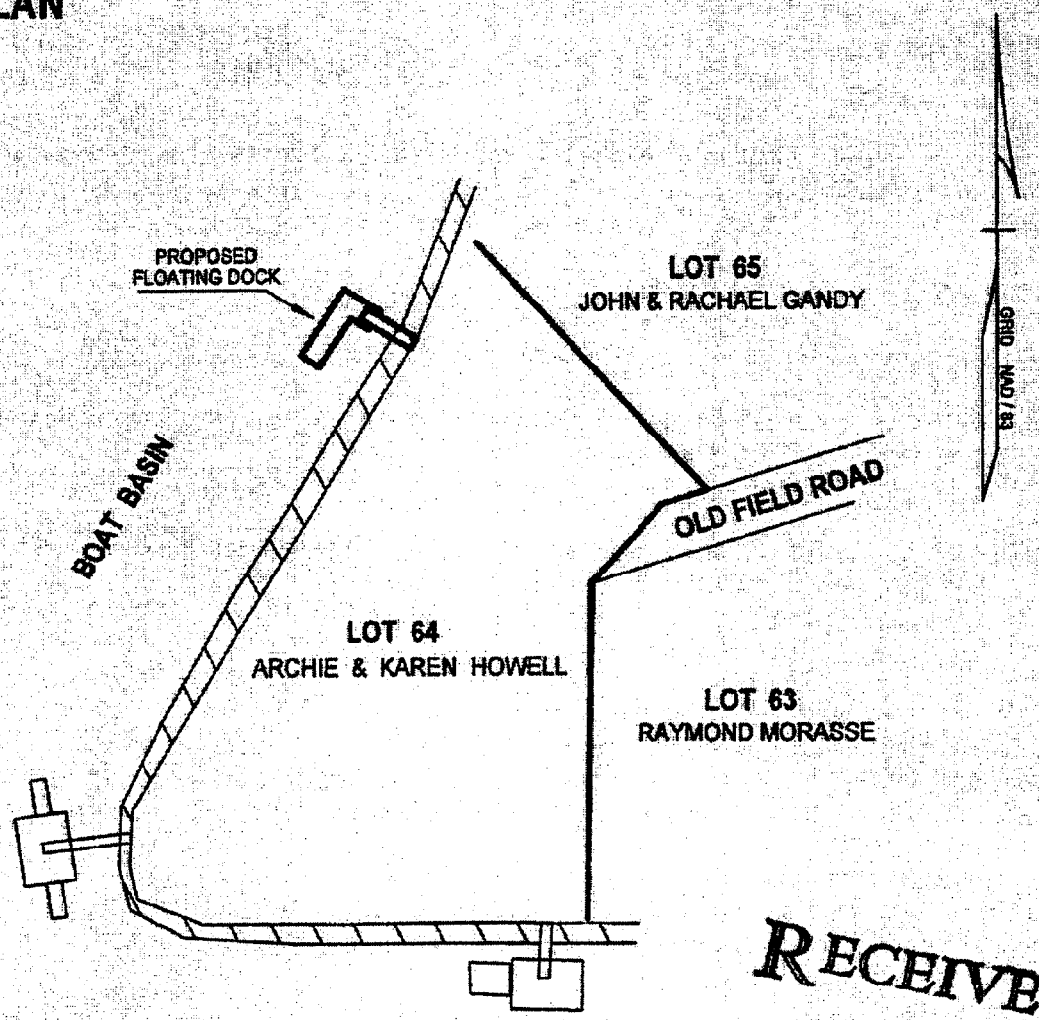
SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
927 Shine Avenue
Myrtle Beach, SC 29577

Please refer to P/N# OCRM-06-527

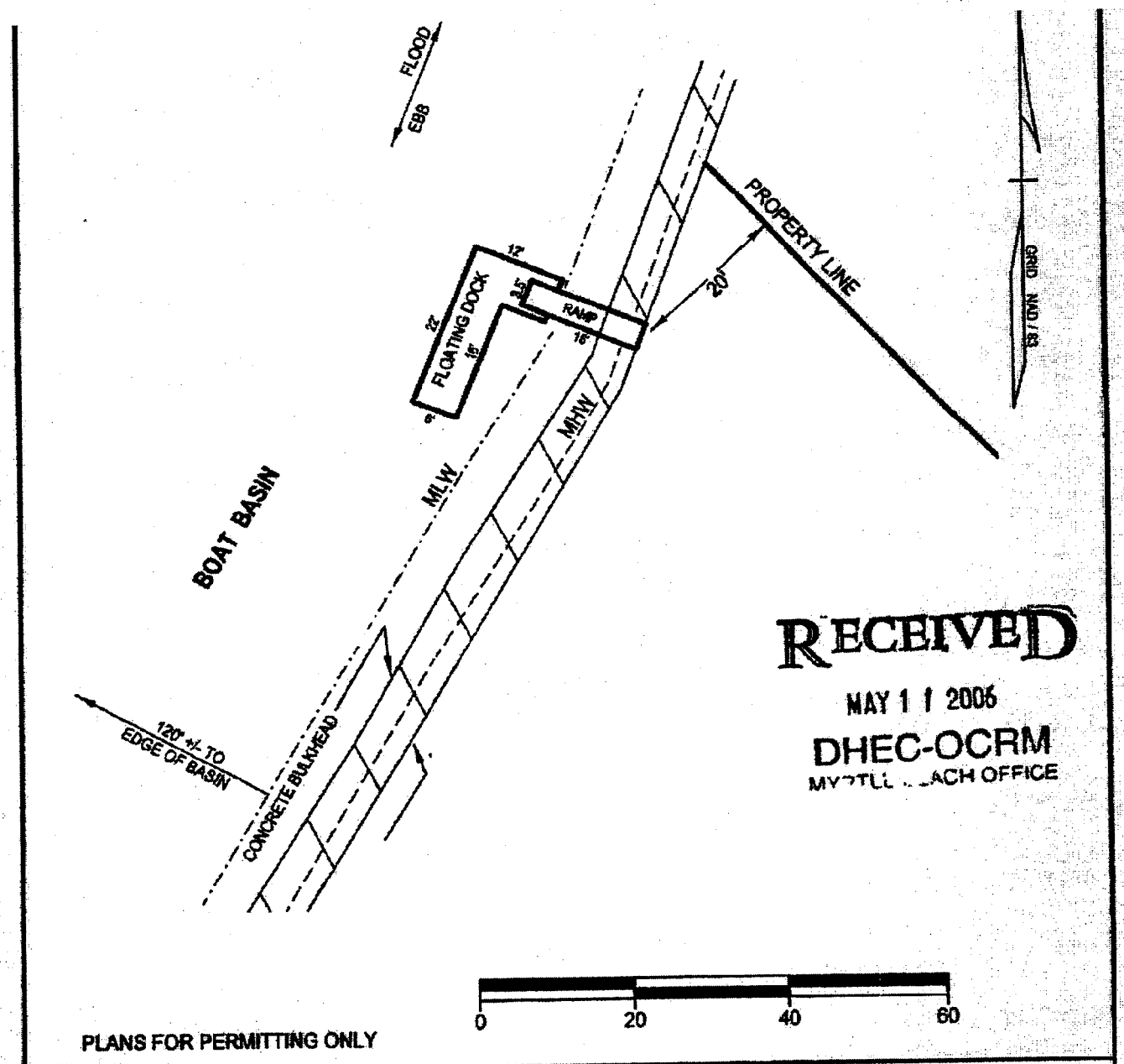
Tess Rodgers, Regulatory Coordinator

m

PLOT PLAN

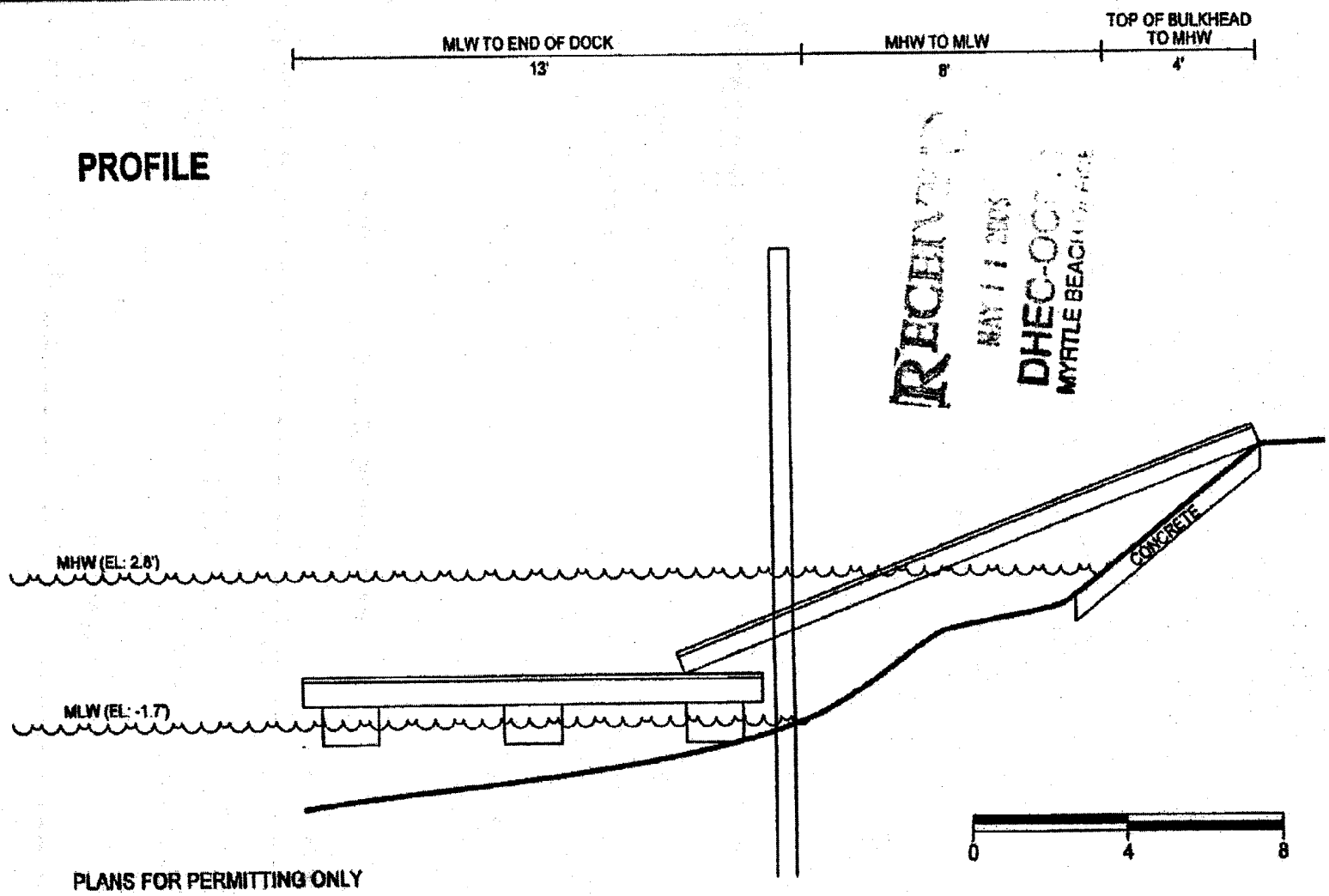


APPLICANT:	LOCATION:	ADJACENT PROPERTY OWNERS:
ARCHIE HOWELL & KAREN HOWELL ACTIVITY: FLOATING DOCK @ AN UNNAMED TRIBUTARY IN MURRELL INLET P/N #	599 OLD FIELD ROAD MURRELLS INLET, SC 29576 COUNTY: HORRY DATE: MAY 01, 2006	RAYMOND MORASSE JOHN & RACHAEL GANDY



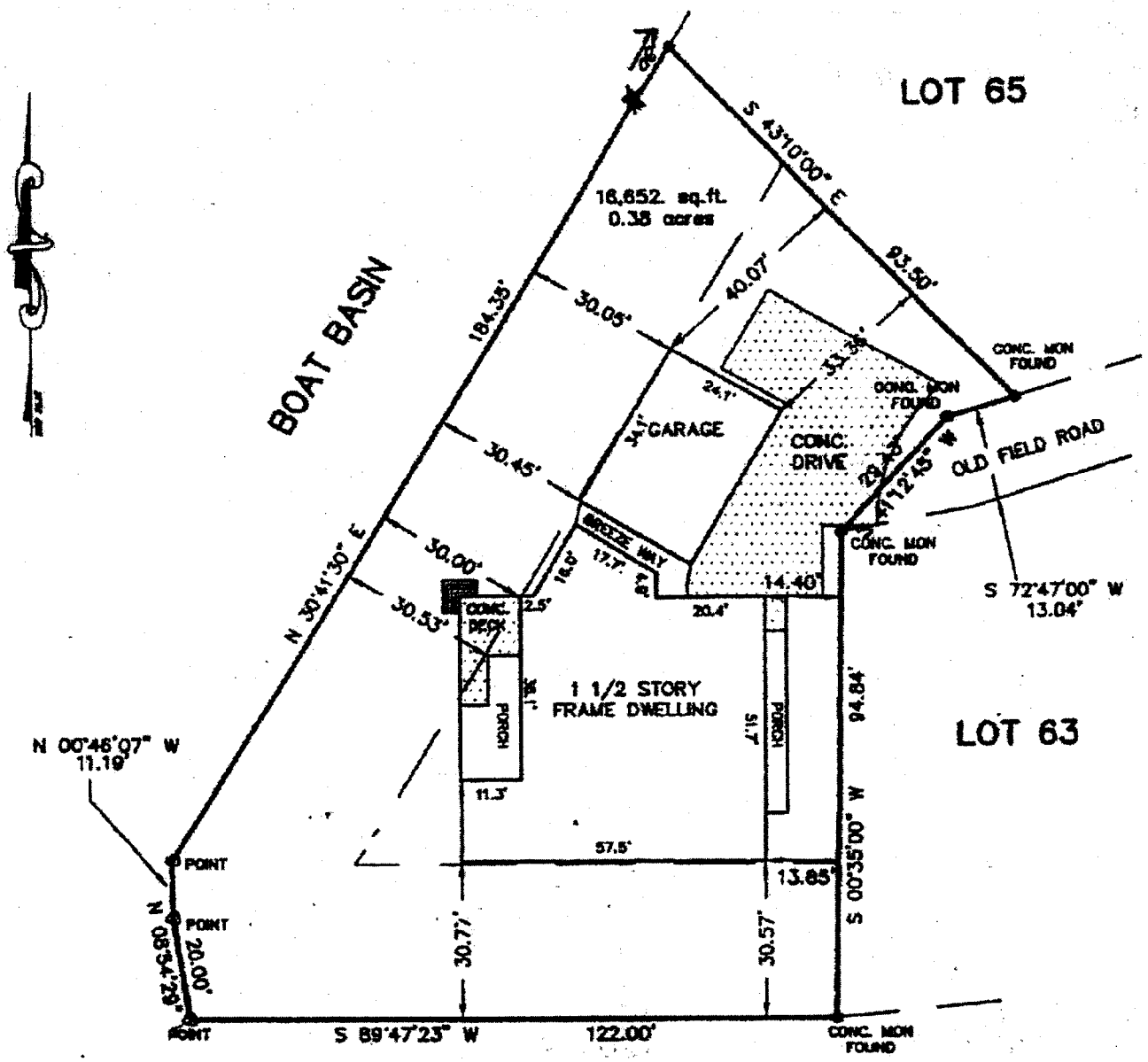
PLANS FOR PERMITTING ONLY

APPLICANT: ARCHIE HOWELL & KAREN HOWELL ACTIVITY: FLOATING DOCK @ AN UNNAMED TRIBUTARY IN MURRELL INLET P/N #	LOCATION: 599 OLD FIELD ROAD MURRELLS INLET, SC 29576 COUNTY: HORRY DATE: MAY 01, 2006	ADJACENT PROPERTY OWNERS: RAYMOND MORASSE JOHN & RACHAEL GANDY



PLANS FOR PERMITTING ONLY

APPLICANT: ARCHIE HOWELL & KAREN HOWELL ACTIVITY: FLOATING DOCK @ AN UNNAMED TRIBUTARY IN MURRELL INLET P/N #	LOCATION: 599 OLD FIELD ROAD MURRELLS INLET, SC 29576 COUNTY: HORRY DATE: MAY 01, 2006	ADJACENT PROPERTY OWNERS: RAYMOND MORASSE JOHN & RACHAEL GANDY



BOAT BASIN

SOUTH CAROLINA
CULLER LAND SURVEYING CO., INC.
No. C00411
CERTIFICATE OF AUTHORIZATION

THIS LOT IS LOCATED IN FLOOD ZONE AE(EL 11) ACCORDING TO F.I.R.M. No. 45051C0304 F, DATED APRIL 02, 1991.

20' 0 10' 20' 40'
GRAPHIC SCALE

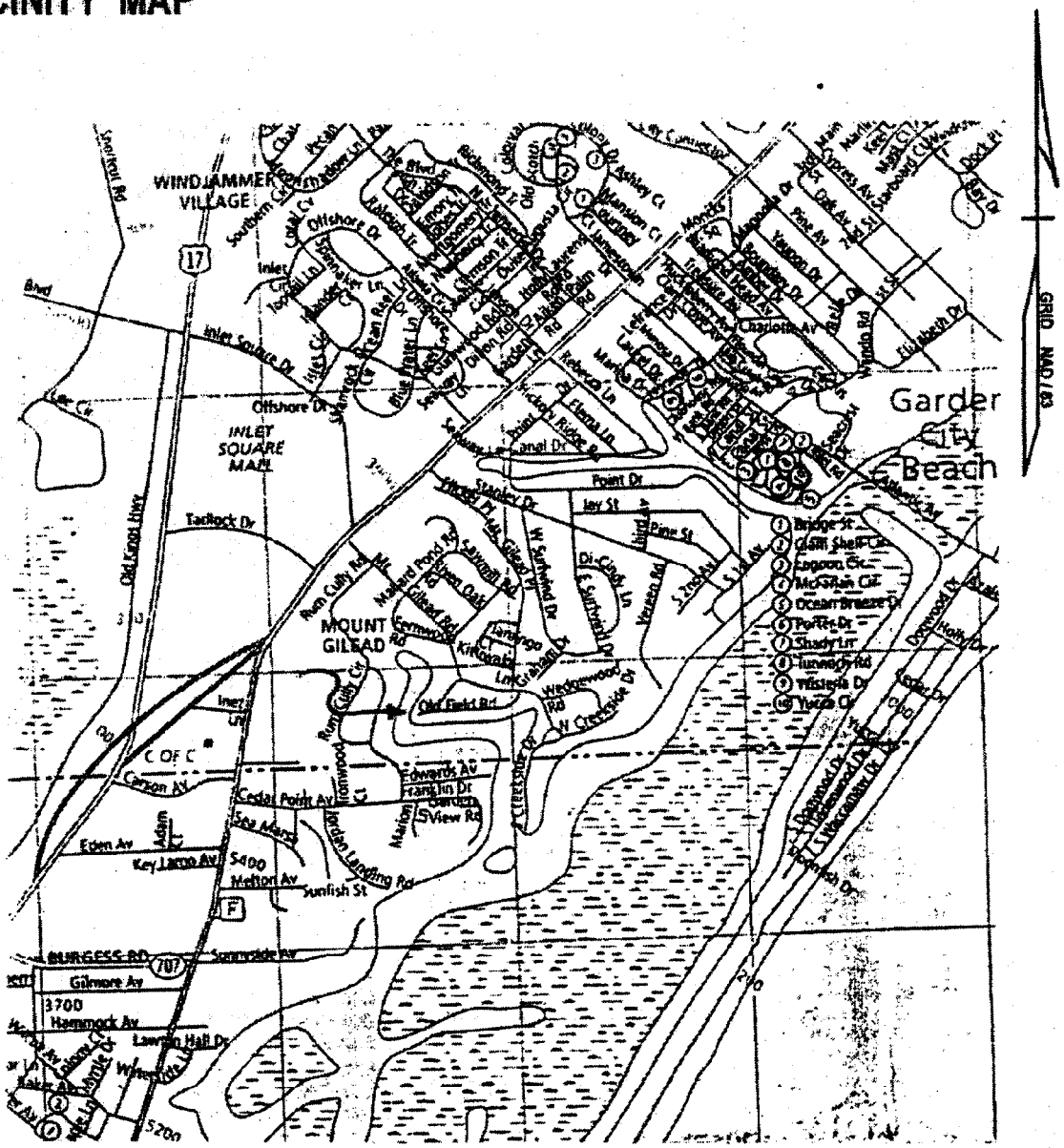
PLAT PREPARED FOR

ARCHIE HOWELL & KAREN HOWELL

GARDEN CITY–HORRY COUNTY–SOUTH CAROLINA

THE SAME BEING ALSO SHOWN AS LOT 64 BLOCK ON A PLAT OF MT. GILEAD
BY J.P. EDWARDS DATED 8–21–75
AND RECORDED IN THE OFFICE OF THE CLERK OF COURT FOR HORRY COUNTY
IN PLAT BOOK 44 AT PAGE 554

VICINITY MAP



APPLICANT:	LOCATION:	ADJACENT PROPERTY OWNERS:
ARCHIE HOWELL & KAREN HOWELL ACTIVITY: FLOATING DOCK @ AN UNNAMED TRIBUTARY IN MURRELL INLET P/N #	599 OLD FIELD ROAD MURRELLS INLET, SC 29576 COUNTY: HORRY DATE: MAY 01, 2006	RAYMOND MORASSE JOHN & RACHAEL GANDY

RECEIVED

MAY 1 1 2006

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM-06-891
Permit ID: 54844

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: Gary L Rowe
C/o Forrest F Baughman
P O Box 330
Bluffton SC 29910

LOCATION: On and adjacent to the Okatie River at lot 4 Helmly Rd, Bluffton, Beaufort County, South Carolina.
TMS#: R600-013-000-0344-0000.

WORK: The work proposed consists of constructing a private dock. The proposed structure will have a 5'x130' walkway with handrails leading to a 16'x20' covered fixed pierhead. Channelward of the pierhead will be a 4'x25' ramp leading to an 8'x30' floating dock. Off the left of the pierhead will be a 13'x13', 4 pile boatlift. The purpose for the dock is for the property owner's private recreational use.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006.

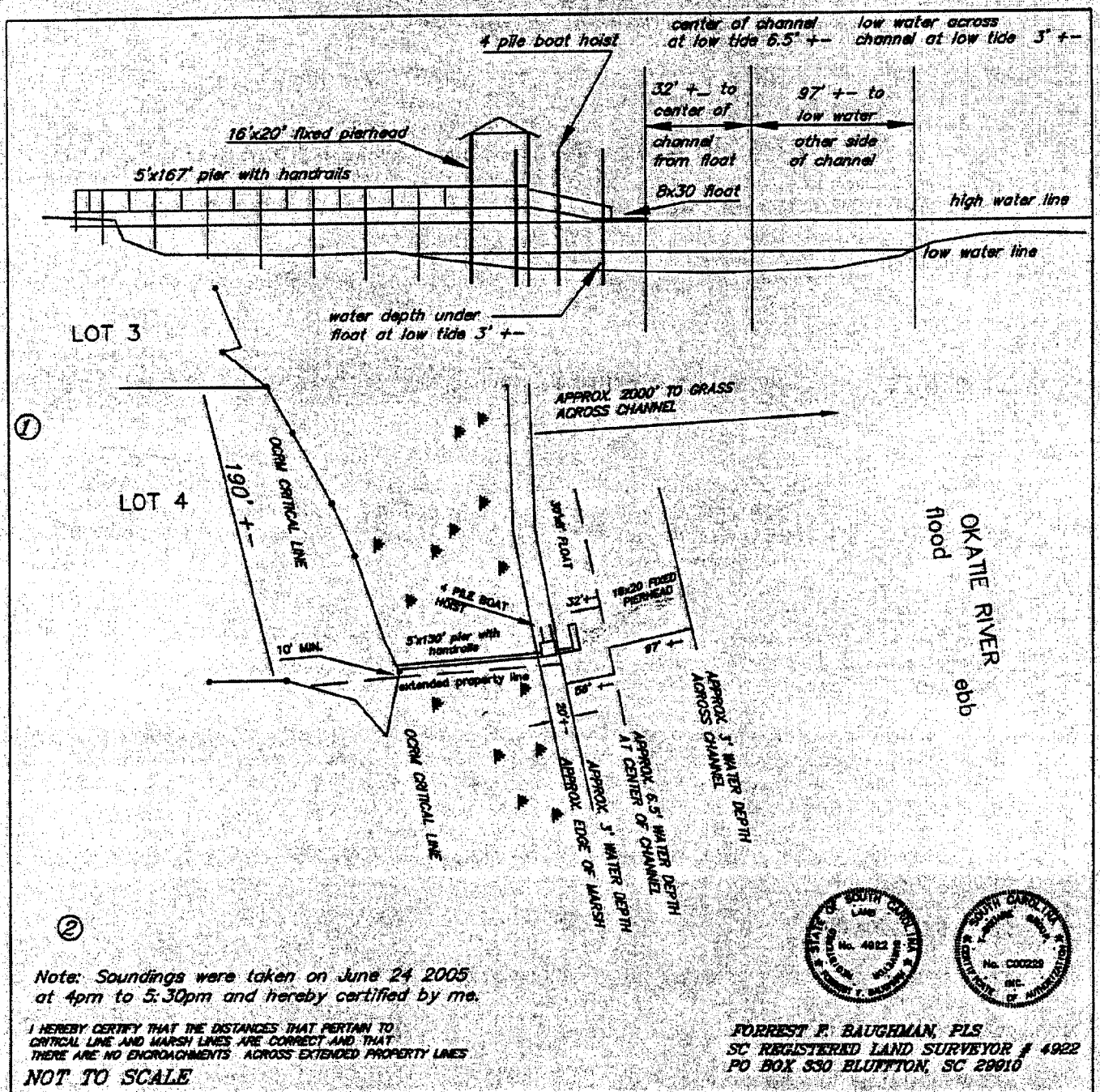
PLEASE REPLY TO:

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
104 Parker Drive
Beaufort, South Carolina 29906

Please refer to P/N# OCRM-06-891

C. W. "Rocky" Browder, III, Regional Permit Administrator

m



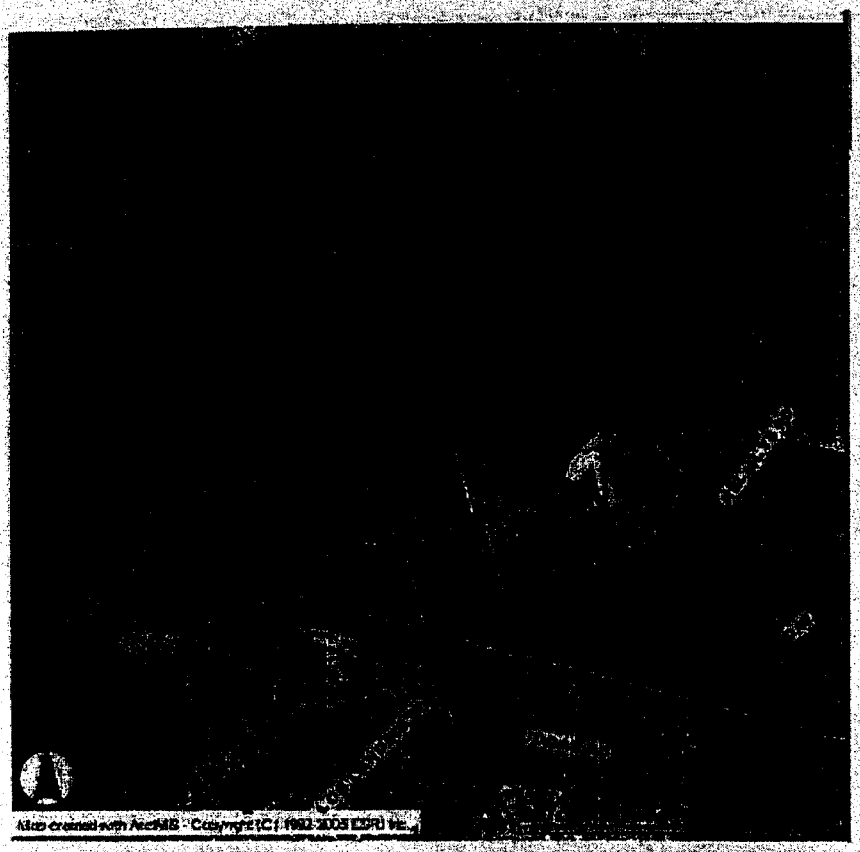
Note: Soundings were taken on June 24 2005 at 4pm to 5:30pm and hereby certified by me.

I HEREBY CERTIFY THAT THE DISTANCES THAT PERTAIN TO CRITICAL LINE AND MARSH LINES ARE CORRECT AND THAT THERE ARE NO ENCROACHMENTS ACROSS EXTENDED PROPERTY LINES

NOT TO SCALE

FORREST P. BAUGHMAN, PLS
SC REGISTERED LAND SURVEYOR # 4922
PO BOX 530 BLUFFTON, SC 29910

APPLICANT:	LOCATION:	ADJACENT PROPERTY OWNERS:
GARY L. ROWE	LOT 4 HELMLY ROAD R600-013-000-0344-0000	1 CHARLES E. DEAN 130 LOGAN ROAD BLUFFTON, SC 29909
ACTIVITY: PROPOSED DOCK & PIER P/N # OCRM-06-891	COUNTY: BEAUFORT DATE: MAY 5, 2006	2 THOMAS C. HELMLY, III 90 HELMLY WAY OKATIE SC 29909



Note: Soundings were taken on June 24 2005 at 4pm to 5:30pm and hereby certified by me.

I HEREBY CERTIFY THAT THE DISTANCES THAT PERTAIN TO CRITICAL LINE AND MARSH LINES ARE CORRECT AND THAT THERE ARE NO ENCROACHMENTS ACROSS EXTENDED PROPERTY LINES

NOT TO SCALE

FORREST F. BAUGHMAN, PLS
SC REGISTERED LAND SURVEYOR # 4922
PO BOX 330 BLUFFTON, SC 29910

APPLICANT:	LOCATION:	ADJACENT PROPERTY OWNERS:
GARY L ROWE	LOT 4 HELMLY ROAD R600-013-000-0344-0000	① CHARLES E DEAN 130 LOGAN ROAD BLUFFTON, SC 29909
ACTIVITY: PROPOSED DOCK & PIER P/N # OCRM- 06-891	COUNTY: BEAUFORT DATE: MAY 5, 2006	② THOMAS C. HELMLY, III 90 HELMLY WAY OKATIE SC 29909

SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
PERMIT APPLICATION PUBLIC NOTICE

May 19, 2006

Permit Number: OCRM-06-892
Permit ID: 54868

The SCDHEC Office of Ocean and Coastal Resource Management has received an application for a permit for the alteration of a critical area. This application was submitted pursuant to the Coastal Zone Management Act (Act 123) of the 1977 South Carolina General Assembly. The application, in brief, is described as follows:

APPLICANT: Allan Rae
C/o Steadfast Marine Services Inc
P O Box 219
St Helena Island SC 29920

LOCATION: On and adjacent to Brickyard Creek at 30 West River Dr, Ladys Island, Beaufort County, South Carolina.
TMS#: R200-004-000-0081-0000.

WORK: The work as proposed consists of making additions to an existing private dock. The applicant proposes to add a 10'x20' floating dock to the right of an existing 10'x20' float. The purpose for the dock addition is for the property owner's private, recreational use.

This public notice is being distributed to all known interested persons and agencies to assist in developing facts on which a decision by OCRM can be based. Comments concerning the proposed work should be submitted in writing, setting forth sufficient detail to furnish a clear understanding of the reasons for support or opposition.

The decision to issue or deny a permit will be based on the individual merits of the application, the policies specified in the South Carolina Coastal Zone Management Act, and the considerations outlined in the State of South Carolina Coastal Zone Management Program. Interested parties who wish to be notified of final permit action must notify OCRM in writing of this request.

To assure review by OCRM, comments regarding this application must be received by OCRM on or before June 3, 2006.

PLEASE REPLY TO:

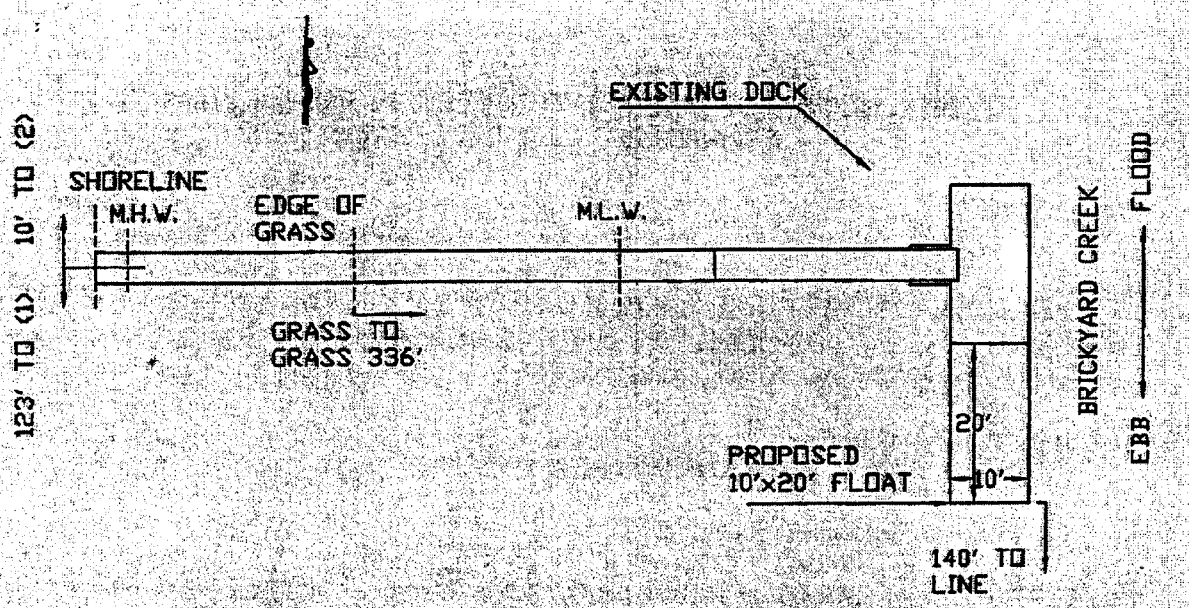
SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
104 Parker Drive
Beaufort, South Carolina 29906

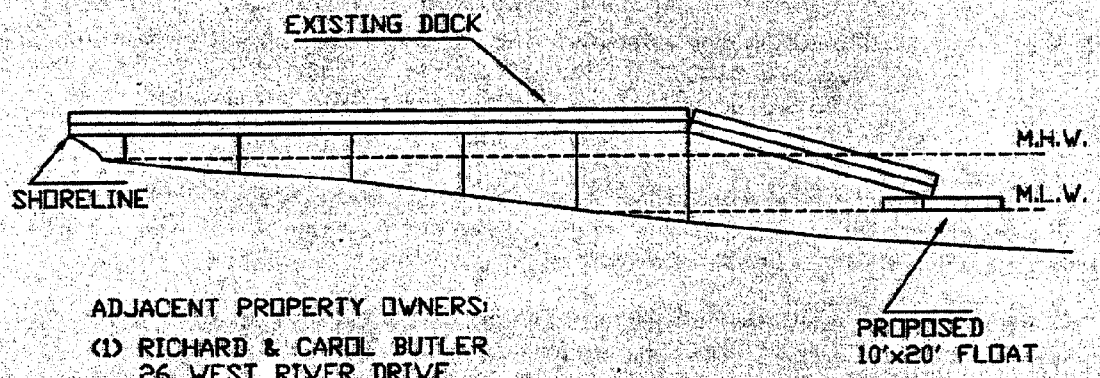
Please refer to P/N# OCRM-06-892

C.W. Browder III

C. W. "Rocky" Browder, III, Regional Permit Administrator

m





ADJACENT PROPERTY OWNERS:

(1) RICHARD & CAROL BUTLER
26 WEST RIVER DRIVE
BEAUFORT, S.C. 29907

(2) JOHN & SALLIE SHEPPARD
16 WEST RIVER DRIVE
BEAUFORT, S.C. 29907

STEADFAST MARINE INC. CORPORATE SEAL SOUTH CAROLINA SINCE 1985

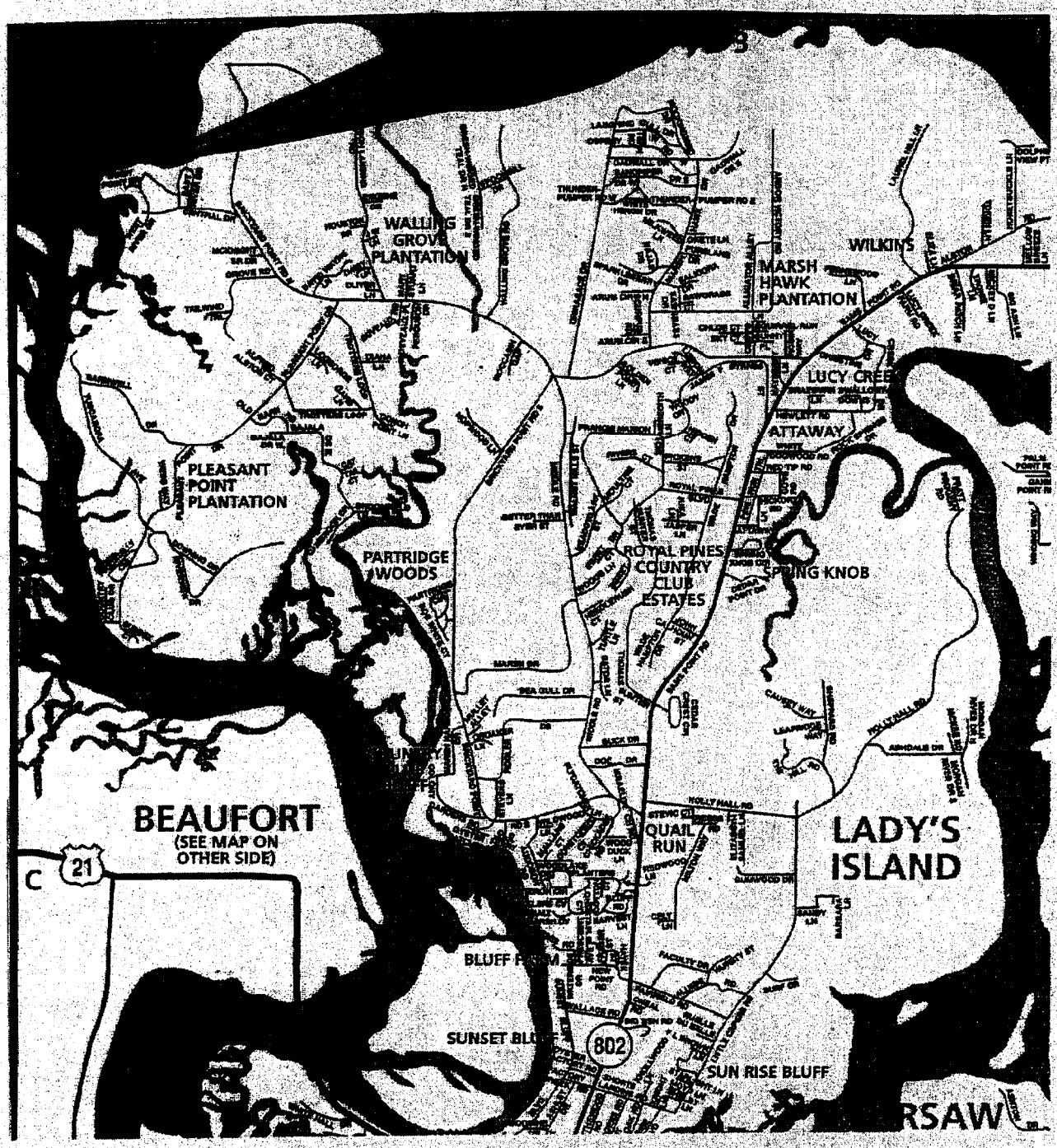
S.C. 12625

SCALE 0' 10' 20'

REVISED 5/16/06

OCRM-06-892

APPLICANT..... MR. ALLAN RAE
ACTIVITY..... PRIVATE DOCK
LOCATION..... 30 WEST RIVER DRIVE
COUNTY..... BEAUFORT
DATE..... 4/26/06 PAGE OF



FROM THE JUNCTION OF U.S. 21 AND S.C. 802 TAKE S.C. 802 EAST 2 MILES. TURN LEFT ONTO BRICKYARD CREEK ROAD, TURN RIGHT ONTO MIDDLE ROAD. GO 3.5 MILES. TURN LEFT ONTO CENTRALDRIVE. GO RIGHT ONTO WEST RIVER DRIVE. SITE IS ON LEFT AT # 30.

OCRM-06-892

APPLICANT..... MR. ALLAN RAE
ACTIVITY..... PRIVATE DOCK
LOCATION..... 30 WEST RIVER DRIVE
COUNTY..... BEAUFORT
DATE..... 4/26/06

D H E C

PROMOTE PROTECT PROSPER

C. Earl Hunter, Commissioner

Promoting and protecting the health of the public and the environment.

Notification of Public Notice

Enclosed are public notices issued by the SCDHEC Office of Ocean and Coastal Resource Management and the U.S. Army Corps of Engineers. All interested parties are allowed 30 days for major developments and 15 days for minor developments after receipt of the public notices to file written comments to the OCRM pertaining to the applications. Only those comments received within this period must be reviewed by the OCRM in processing the permit application. Any person wishing notification of the initial OCRM decision on any specific public notice must make written request within the designated review period for that public notice.

APPLICANT	PUBLIC NOTICE NUMBER	SUSPENSE DATE
Marlin Quay Marina	2004-1R-218-P (Mod)	June 18, 2006

May 19, 2006

SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL

Ocean and Coastal Resource Management

Charleston Office • 1362 McMillan Avenue • Suite 400 • Charleston, SC 29405

Phone: (843) 744-5838 • Fax: (843) 744-5847 • www.scdhec.gov

JOINT
PUBLIC NOTICE

CHARLESTON DISTRICT, CORPS OF ENGINEERS
69A Hagood Avenue
Charleston, South Carolina 29403-5107
and the
S.C. DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL
OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT
1362 McMillan Avenue, Suite 400
Charleston, South Carolina 29405

REGULATORY DIVISION
Refer to: P/N #2004-1R-218-P (Modification) May 19, 2006

Pursuant to Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. 403), Sections 401 and 404 of the Clean Water Act (33 U.S.C. 1344), and the South Carolina Coastal Zone Management Act (48-39-10 et.seq.) a modification to an application has been submitted to the Department of the Army and the S.C. Department of Health and Environmental Control by

MARLIN QUAY MARINA
C/O ANASTASIA SHAW
GENERAL ENGINEERING & ENVIRONMENTAL, LLC
POST OFFICE BOX 30712
CHARLESTON, SOUTH CAROLINA 29417

to install a bulkhead/breakwater adjacent to **MAJOR ACTIVITY**

MAIN CREEK

at Marlin Quay Marina on Garden City Beach, Georgetown County, South Carolina (Latitude: 33.55210; Longitude: 79.02017).

In order to give all interested parties an opportunity to express their views

NOTICE

is hereby given that written statements regarding the proposed work will be received by both of the above mentioned offices until

12 O'CLOCK NOON, MONDAY, JUNE 5, 2006

from those interested in the activity and whose interests may be affected by the proposed work.

The proposed work consists of installing a steel sheet pile bulkhead/breakwater where the top of the sheet piling will approximately 7.0 feet above MLW. Treated wood decking will be placed on top of the bulkhead/breakwater. The purpose of this modification, according to the applicant, is to protect the marsh grass and oyster beds adjacent to the proposed dredged area on the northwest side of the marina.

NOTE: Plans depicting the work described in this notice are available and will be provided, upon receipt of a written request, to anyone that is interested in obtaining a copy of the plans for the specific project. The request must identify the project of interest by public notice number and a self-addressed stamped envelope must also be provided for mailing the drawings to you. Your request for drawings should be addressed to the

U.S. Army Corps of Engineers
ATTN: REGULATORY DIVISION
69A Hagood Avenue
Charleston, South Carolina 29403-5107

The District Engineer has concluded that the discharges associated with this modification, both direct and indirect, should be reviewed by the South Carolina Department of Health and Environmental Control in accordance with provisions of Section 401 of the Clean Water Act. As such, this notice constitutes a request, on behalf of the applicant, for certification that this modification will comply with applicable effluent limitations and water quality standards. The work shown on this application must also be certified as consistent with applicable provisions the Coastal Zone Management Program (15 CFR 930). The District Engineer will not process this application to a conclusion until such certifications are received. The applicant is hereby advised that supplemental information may be required by the State to facilitate the review.

This notice initiates the Essential Fish Habitat (EFH) consultation requirements of the Magnuson-Stevens Fishery Conservation and Management Act. Implementation of this modification would impact estuarine substrates and emergent wetlands utilized by various life stages of species comprising the red drum, shrimp, and snapper-grouper management complexes. Our initial determination is that the proposed action would not have a substantial individual or cumulative adverse impact on EFH or fisheries managed by the South Atlantic Fishery Management Council and the National Marine Fisheries Service (NMFS). Our final determination relative to project impacts and the need for mitigation measures is subject to review by and coordination with the NMFS.

Pursuant to Section 7(c) of the Endangered Species Act of 1973 (as amended), the District Engineer has consulted the most recently available information and has determined that this modification is not likely to adversely affect any Federally endangered, threatened, or proposed species or result in the destruction or adverse modification of designated or proposed critical habitat. This public notice serves as a request for written concurrence from the U.S. Fish and Wildlife Service and/or the National Marine Fisheries Service on this determination.

Pursuant to Section 106 of the National Historic Preservation Act (NHPA), this public notice also constitutes a request to Indian Tribes to notify the District Engineer of any historic properties of religious and cultural significance to them that may be affected by the proposed undertaking.

In accordance with the NHPA, the District Engineer has also consulted the latest published version of the National Register of Historic Places for the presence or absence of registered properties, or properties listed as being eligible for inclusion therein, and this worksite is not included as a registered property or property listed as being eligible for inclusion in the Register. To insure that other cultural resources that the District Engineer is not aware of are not overlooked, this public notice also serves as a request to the State Historic Preservation Office to provide any information it may have with regard to historic and cultural resources.

Any person may request, in writing, within the comment period specified in this notice, that a public hearing be held to consider this application. Requests for a public hearing shall state, with particularity, the reasons for holding a public hearing.

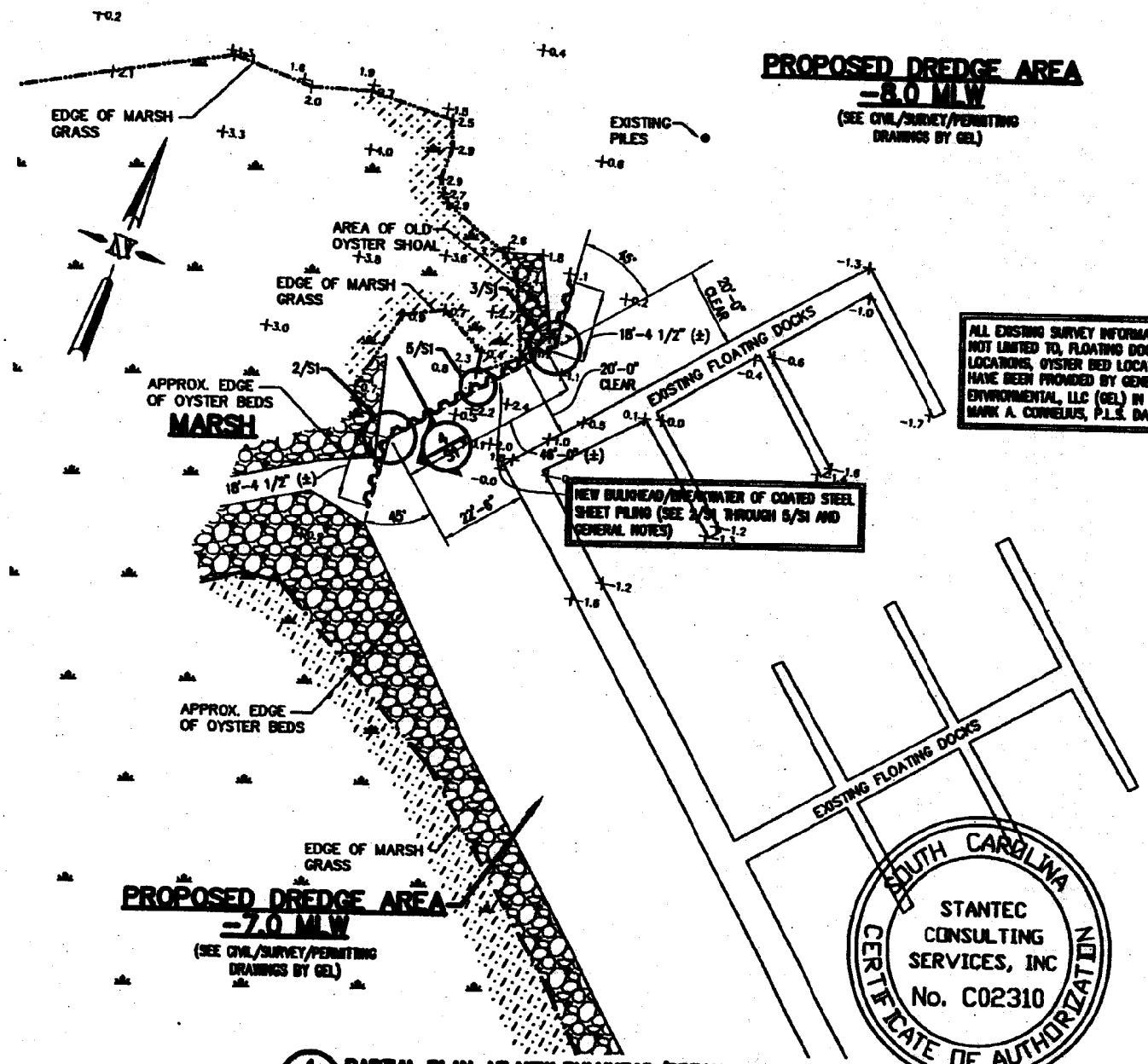
The decision whether to issue a permit will be based on an evaluation of the probable impact including cumulative impacts of the activity on the public interest and will include application of the guidelines promulgated by the Administrator, Environmental Protection Agency (EPA), under authority of Section 404(b) of the Clean Water Act and, as appropriate, the criteria

Act of 1972, as amended. That decision will reflect the national concern for both protection and utilization of important resources. The benefit which reasonably may be expected to accrue from the project must be balanced against its reasonably foreseeable detriments. All factors which may be relevant to the project will be considered including the cumulative effects thereof; among those are conservation, economics, aesthetics, general environmental concerns, wetlands, historic properties, fish and wildlife values, flood hazards, flood plain values, land use, navigation, shoreline erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food and fiber production and, in general, the needs and welfare of the people. A permit will be granted unless the District Engineer determines that it would be contrary to the public interest. In cases of conflicting property rights, the Corps of Engineers cannot undertake to adjudicate rival claims.

The Corps of Engineers is soliciting comments from the public; Federal, state, and local agencies and officials; Indian Tribes; and other interested parties in order to consider and evaluate the impacts of this activity. Any comments received will be considered by the Corps of Engineers to determine whether to issue, modify, condition or deny a permit for this project. To make this decision, comments are used to assess impacts on endangered species, historic properties, water quality, general environmental effects, and the other public interest factors listed above. Comments are used in the preparation of an Environmental Assessment and/or an Environmental Impact Statement pursuant to the National Environmental Policy Act. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the activity.

If there are any questions concerning this public notice, please contact me at 843-329-8044 or toll free at 1-866-329-8187.

Robin Coller-Socha
Project Manager
Regulatory Division
U.S. Army Corps of Engineers



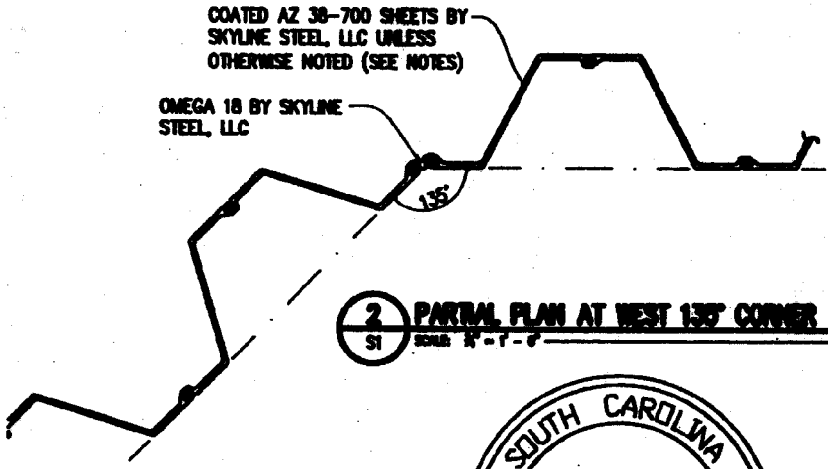
ALL EXISTING SURVEY INFORMATION, INCLUDING BUT NOT LIMITED TO, FLOATING DOCK LOCATIONS, MARSH LOCATIONS, OYSTER BED LOCATIONS, AND GRADES HAVE BEEN PROVIDED BY GENERAL ENGINEERING & ENVIRONMENTAL, LLC (GEL) IN THE SURVEY BY MARK A. CORNELIUS, P.L.S. DATED MARCH 3, 2008

1 S1 PARTIAL PLAN AT NEW BULKHEAD/BREAKWATER
SCALE 1" = 20' - 0"

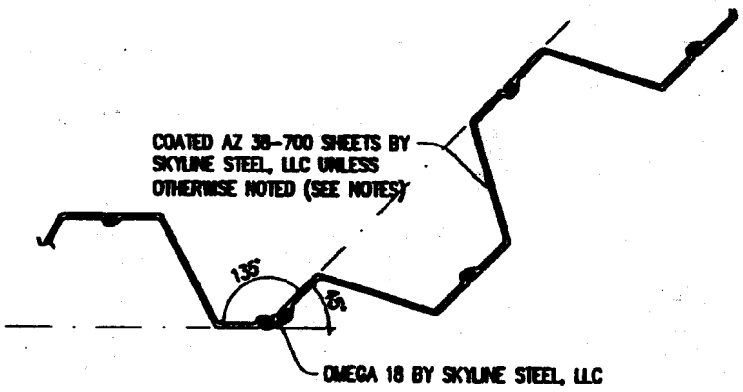
SOUTH CAROLINA
STANTEC CONSULTING SERVICES, INC
No. C02310
CERTIFICATE OF AUTHORIZATION

SOUTH CAROLINA
PROFESSIONAL ENGINEER
REGISTERED
No. 11136
EDWARD ... ORCHER

Marlin Quay Marina
Georgetown County
P/N #2004-1R-218 (modification)
Sheet 1 of 15



2 S1 PARTIAL PLAN AT WEST 135° CORNER
SCALE: 1" = 1' - 0"

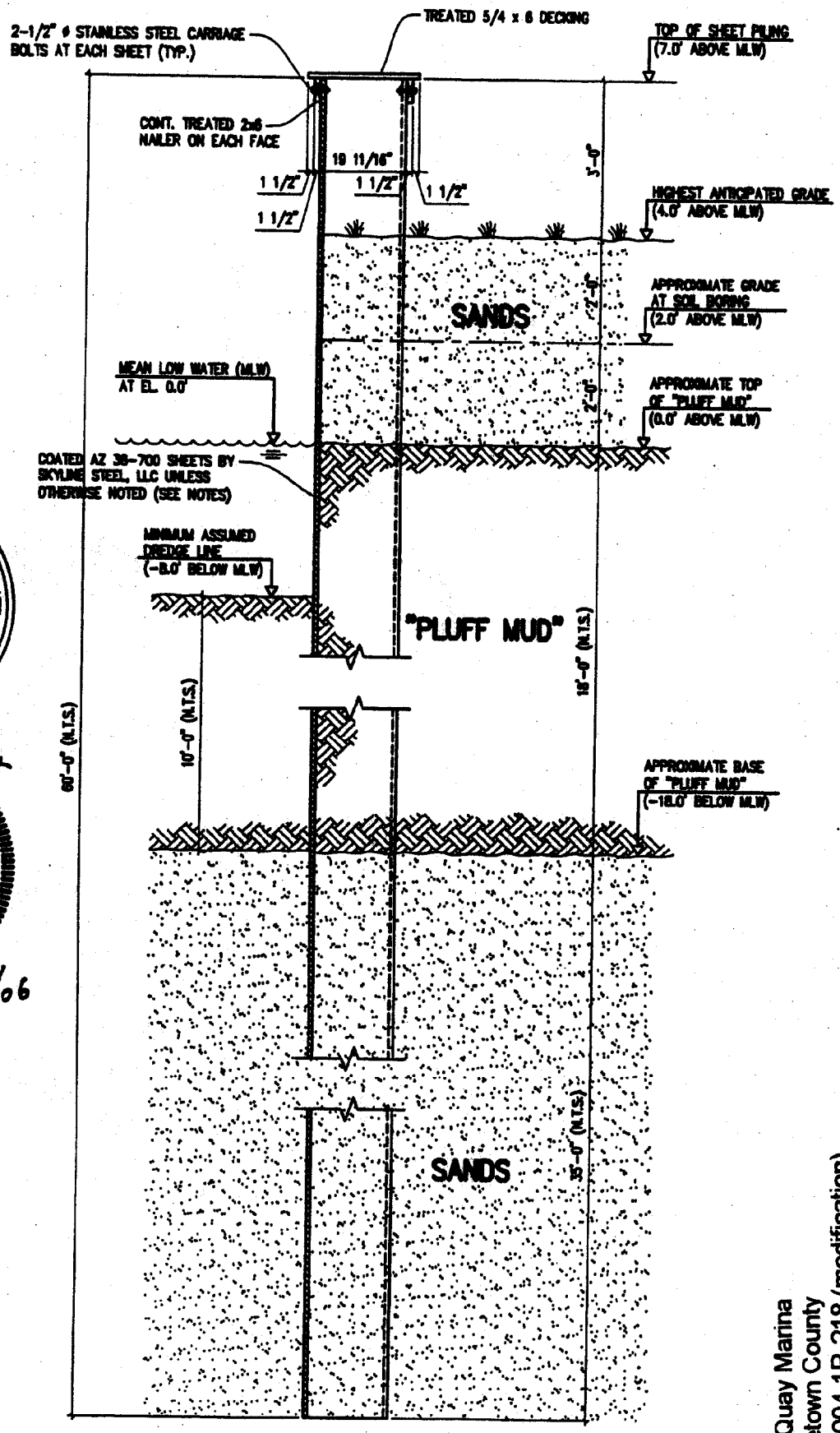


3 S1 PARTIAL PLAN AT EAST 135° CORNER
SCALE: 1" = 1' - 0"

SOUTH CAROLINA
STANTEC CONSULTING SERVICES, INC
No. C02310
CERTIFICATE OF AUTHORIZATION

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 11136
EDWARD C. PORCHER
4/20/06

Marlin Quay Marina
Georgetown County
P/N #2004-1R-218 (modification)
Sheet 2 of 15

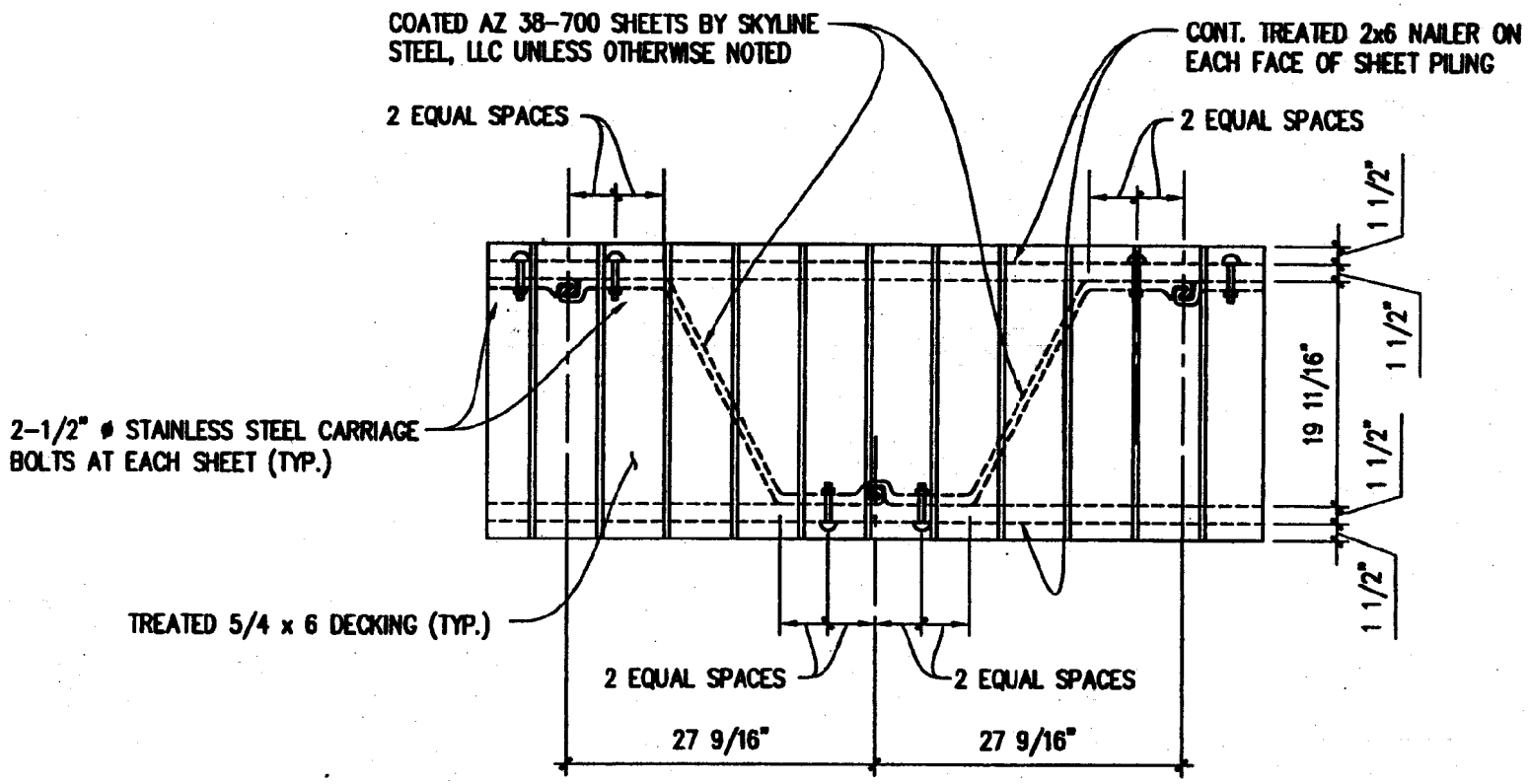


SOUTH CAROLINA
STANTEC CONSULTING SERVICES, INC
No. C02310
CERTIFICATE OF AUTHORIZATION

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 11136
EDWARD C. PORCHER
4/20/06

4 / S1 **SECTION AT NEW BULKHEAD/BREAKWATER**
SCALE: 3/8" = 1' - 0"

Marlin Quay Marina
Georgetown County
P/N #2004-1R-218 (modification)
Sheet 3 of 15



5 / S1 PARTIAL PLAN AT WOOD CAP ON TOP OF BULKHEAD/BREAKWATER

SCALE: ¾" = 1' – 0"

SOUTH CAROLINA
STANTEC CONSULTING SERVICES, INC
No. C02310
CERTIFICATE OF AUTHORIZATION

SOUTH CAROLINA PROFESSIONAL ENGINEER
REGISTERED
No. 11136
EDWARD C. PORCHER

Marlin Quay Marina
Georgetown County
P/N #2004-1R-218 (modification)
Sheet 4 of 15

GENERAL NOTES

GENERAL

1. The responsibilities of Stantec Consulting Services, Inc. are limited to Structural DESIGN of the new steel bulkhead/breakwater. No other portions of the existing marina have been investigated, designed, or analyzed by Stantec.
2. All permitting, including bulkhead/breakwater locations and dredging requirements, shall be designed by others and are not the responsibility of Stantec. All work must be in accordance with approved permits.
3. All existing survey information, including but not limited to, floating dock locations, marsh locations, oyster bed locations, and grades have been provided by General Engineering & Environmental, LLC (GEL) in the survey by Mark A. Cornelius, P.L.S. dated March 3, 2006.
4. All materials for design, detailing, fabrication, and erection shall conform with ASTM, AITC, and AISC Codes and Standards, latest editions.
5. All dimensions and details must be field verified by the Contractor prior to fabrication of new materials. Any discrepancies shall be brought to the attention of the Engineer for review.
6. All shop drawings and submittals must be reviewed by the Engineer before fabrication of new materials.
7. The Contractor shall provide adequate bracing, shoring, and protection during construction, and he is responsible for any failures and damages due to the lack of such.
8. Extreme diligence and care shall be exercised by the Contractor to protect the site and adjacent properties. Any damages as a result of construction operations are the sole responsibility of the Contractor, and shall be either repaired or replaced at no cost to the Owner.
9. Workers, employees, and the General Public shall be protected by the Contractor. All OSHA and other applicable safety standards shall be adhered to by the Contractor during all work. Adequate safety nets, barricades, guardrails, safety lines, platforms, flag men, life vests, and other temporary safety devices shall be provided by the Contractor as required to protect all personnel and property. Any damages, accidents, or injuries as a result of construction operations are the sole responsibility of the Contractor.
10. Existing utilities, equipment, and other appurtenances conflicting with proposed work shall be protected, and relocated if required, by the Contractor as required to complete all work. Any relocating work shall be in accordance with applicable codes and standards.
11. Unless specifically noted in the drawings, specifications, or subsequent documents, any items to be removed by the Contractor shall be disposed of by the Contractor.
12. Items to be removed and reinstalled by the Contractor shall be adequately protected, adequately stored, and thoroughly cleaned by the Contractor prior to reinstallation.
13. Upon completion of all work, the Contractor shall clean up and remove from the site all surplus materials, tools, appliances, rubbish, protection devices, accessing devices, excess materials, cleaning debris, equipment, and other foreign debris such that the site is left in a neat, orderly condition and ready for use.
14. After completion of the new bulkhead/breakwater, structural maintenance shall be the responsibility of the Owner. The Owner is advised that steel sheet piling in the harsh saltwater environment will require periodic cleaning and recoating with coal tar epoxy. Similarly, the wood cap will require periodic maintenance.

FOUNDATION NOTES

1. See the Geotechnical Investigation Report by WPC Engineering, Environmental & Construction Services dated March 29, 2006 (WPC Project No. CHS-06-120) along with a subsequent email by Edward L. Hajduk, P.E. dated 04/12/06.
2. The Contractor is advised that the site may contain various rubble and other foreign debris which must be punched through and/or removed as required to complete all new work. Punching, spudding, and/or removal of normal foreign debris as expected in waterfront work are the sole responsibility of the Contractor.

SOUTH CAROLINA
STANTEC CONSULTING SERVICES, INC
No. C02310
CERTIFICATE OF AUTHORIZATION

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 11136
EDWARD C. PORCHER

4/20/06

Marlin Quay Marina
Georgetown County
P/N #2004-1R-218 (modification)
Sheet 5 of 15

STRUCTURAL STEEL AND STEEL SHEET PILING

1. Design, fabrication, and erection must follow the AISC Manual of Steel Construction, ninth edition.
2. Unless otherwise noted, all steel members shall be of ASTM A572, Grade 50 steel or better.
3. All bolts shall be AISI, Type 316 stainless steel.
4. All steel sheet piling shall be coated, Skyline AZ 38-700 steel sheet piling by Skyline Steel, LLC of Parsippany, NJ. Sheeting properties shall be at least I=694.5 in^4/ft and S=70.7 in^3/ft.
5. All sheet piling shall be manufactured from ASTM A572, Grade 50 steel with a minimum yield strength of 50,000 ksi.
6. All sheet piling shall be thoroughly cleaned to a SSPC No. 10 "Near White" finish (with a 2 to 4 mil surface profile) and shop coated with at least 16 dry mils of Amercoat 78HB, amine cured coal tar epoxy or approved equal.
7. Shop drawings of sheet piling sizes, configurations, strengths, properties, layout, and coatings shall be submitted to the Engineer for review and coordination prior to fabrication and shipment of new materials.
8. Sheet piling shall be 60'-0" in length and driven to a butt elevation of 7'-0" above Mean Low Water (MLW.)
9. All welding shall be executed by a certified welder to meet the requirements of the American Welding Society for welding structural steel of type as shown on the drawings. Welding electrodes shall be E-70 series.
10. All cutting or burning of the structural steel members not shown on the drawings shall be approved by the Structural Engineer before performing the work. The Contractor shall bear all the expenses of the cutting and the required reinforcing as directed.
11. All welded, abraded, or otherwise exposed steel shall be thoroughly cleaned and field painted with two coats of coal tar epoxy.

STRUCTURAL WOOD

1. Design, fabrication, and erection of structural wood shall follow the ANSI/AF and PA NDS-2001.
2. Unless otherwise noted, all wood shall be Southern Yellow Pine, No. 2, and preservative treated to AWPA Standards C22 or better to at least 0.6 lbs/cf of retention with CCA.
3. All joist hangers, hurricane ties, straps, and other metal connectors shall be stainless steel "Strong-Tie" connectors as manufactured by Simpson Company or approved equal.
4. All bolts, nails, screws, and other metal connectors shall be AISI, Type 316 stainless steel.

SOUTH CAROLINA
STANTEC CONSULTING SERVICES, INC
No. C02310
CERTIFICATE OF AUTHORIZATION

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 11136
EDWARD C. PORCHER
4/20/06

Marlin Quay Marina
Georgetown County
P/N #2004-1R-218 (modification)
Sheet 6 of 15

Geotechnical Investigation

Breakwater at Marlin Quay Marina
Garden City Beach, SC

WPC Project # CHS-06-120

Prepared for
Ms. Anastasia Shaw
GEL, Inc.
2040 Savage Road
Charleston, SC 29407

March 29, 2006

Prepared by
WPC
1017 Chuck Dawley Boulevard
Mount Pleasant, SC 29464

WPC

Marlin Quay Marina
Georgetown County
P/N #2004-1R-218 (modification)
Sheet 7 of 15

WPC
ENGINEERING, ENVIRONMENTAL
& CONSTRUCTION SERVICES

March 29, 2006

Ms. Anastasia Shaw
GEL, Inc.
2040 Savage Road
Charleston, SC 29407

Geotechnical Investigation Breakwater at Marlin Quay Marina Garden City Beach, SC WPC Project #: CHS-06-120

Dear Ms. Shaw:

As requested, **WPC** has conducted a geotechnical investigation at the above referenced project. The purpose of this was to determine subsurface conditions with regards to the construction of a breakwater at the site. The following paragraphs present our understanding of the proposed project, describe our exploratory procedures, discuss the subsurface conditions encountered, and present our recommendations regarding geotechnical design considerations for the breakwater. Our recommendations are based upon our understanding of the proposed construction, the subsurface data, and our experience with similar projects and conditions.

PROJECT INFORMATION

Overview Currently, sands are being deposited by coastal water action between an existing floating dock and a marsh area at the Marlin Quay Marina in Garden City Beach, SC. The approximate boundary of the sand deposition area is shown in Figure 1 in the report Appendix. A breakwater will be developed between an existing floating dock and a marsh area to protect the marsh area and allow dredging to deepen the channel along the dock.

Marlin Quay Marina
Georgetown County
P/N #2004-1R-218 (modification)
Sheet 8 of 15

1017 Chuck Dawley Blvd Mt Pleasant SC 29464

EXPLORATION PROCEDURES

Overview The field investigation at the site consisted of one (1) Soil Test Boring (STB) (ASTM D1586) to a depth of 39 ft below the existing ground surface. The boring, labeled as B-1, is shown relative to the site in Figure 1 in the report Appendix. Access to the boring location was achieved through use of a barge. The STB was conducted on a sand bar at low tide. Ground surface elevation data at B-1 was unavailable at the time of this report. We recommend the ground surface elevation be confirmed prior to use of the provided soils information in the breakwater design.

Soil Test Borings (SPT) The Soil Test Boring (STB) were advanced using mud rotary drilling techniques in accordance with ASTM D5783 *Standard Guide for Use of Direct Rotary Drilling with Water-Based Drilling Fluid for Geoenvironmental Exploration and the Installation of Subsurface Water-Quality Monitoring Devices.* The boring was cased to a depth of 10 ft. Soil samples were collected using a standard Split Spoon Sampler in accordance with the methods outlined in ASTM D1586 *"Test Method for Penetration Test and Split-Barrel Sampling of Soils"*. Split spoon samples were obtained on 5 ft intervals starting at a depth of 7½ ft.

The STB record graphically illustrates Standard Penetration Test (SPT) values, groundwater levels, soil descriptions and classification of the subsurface conditions based upon visual examination of the split-spoon samples by a geotechnical engineer using the procedures outlined in ASTM D2487 *"Standard Classification of Soils for Engineering Purposes (Unified Soil Classification System).* Stratification lines on these records represent approximate boundaries between soil types; however, the actual transition may be gradual. Details of the subsurface conditions encountered by the STB are included in the Boring Log located in the Appendix of this report.

GEOTECHNICAL FINDINGS

Subsurface Conditions In general, the subsurface profile at the boring location consisted of loose clayey sands with shells to a depth of 2 ft from the existing ground surface. Following these sands is a layer of very soft silty clay, known locally as "pluff mud", to a depth of 20 ft. A medium dense sand layer was observed in this very soft clay zone between 13 ft to 16 ft. Following the very soft silty clay are fine sands to the termination of the boring at a depth of 39 ft from the existing ground surface. A small clayey sand layer was observed within these fine sands between 36 ft and 38 ft.

Groundwater The groundwater table was not encountered within the boring. We note that boring B-1 was conducted at low tide on a sand bar that is covered with water at high tide.

Seismic Evaluation Due to the high seismicity of the coastal South Carolina area, we performed a liquefaction potential analysis for the site. Ground shaking at the foundation of structures and liquefaction of the soil under the foundation are the principle seismic hazards to be considered in design of earthquake-resistant structures. Liquefaction occurs when a rapid buildup in water pressure, caused by the ground motion, pushes sand particles apart, resulting in a loss of strength and later densification as the water pressure dissipates. This loss of strength can cause bearing capacity failure while the densification can cause excessive settlement. Potential earthquake damage can be mitigated by structural and/or geotechnical measures or procedures common to earthquake resistant design.

According to the International Building Code, year 2003 edition (IBC 2003), structures are required to be designed to a design earthquake from a 50 year exposure period with a 2% Probability of Exceedance (PE) (i.e. a 2475 year design earthquake). The 2% PE in 50 year design earthquake has a Moment Magnitude (M_w) of 7.3 and a Peak Ground Acceleration (PGA) of 0.23g, as determined from data provided by the IBC 2003 Code. The IBC 2003 Seismic design code is based on the 2000 National Earthquake Hazards Reduction Program (NEHRP) *Recommended Provisions for Seismic Regulations for New Building and Other Structures* (FEMA 368 and 369) and the USGS National Seismic Hazard Mapping Project. Our analysis indicated that isolated layers of the sandy soils encountered below the water table at the site have the potential to liquefy during the design earthquake. According to the IBC 2003 Code, this potential for liquefaction classifies the site as Site Class F.

IBC 2003 provides an exception to the Site Class recommendation for a structure with a fundamental period equal to or less than 0.5 second, which states that a site can be classified as whatever Site Class it would be without considering liquefaction to determine spectral accelerations for structural design. Based on this exception and the collected in situ test data, structures with a period less than 0.5 seconds would be classified as **Site Class D** based on the weighted SPT N values. Figure 2 presents the Site Class D Design Response Spectrum for this site (Note – This is not a Site Specific Evaluation). If the proposed structure has a fundamental period greater than 0.5 seconds, WPC can provide a site-specific response curve. The following are the Site Class D seismic design parameters for the site: $\mathbf{F_a = 1.25}$, $\mathbf{F_v = 2.00}$, $\mathbf{S_{DS} = 0.57}$, and $\mathbf{S_{D1} = 0.25}$.

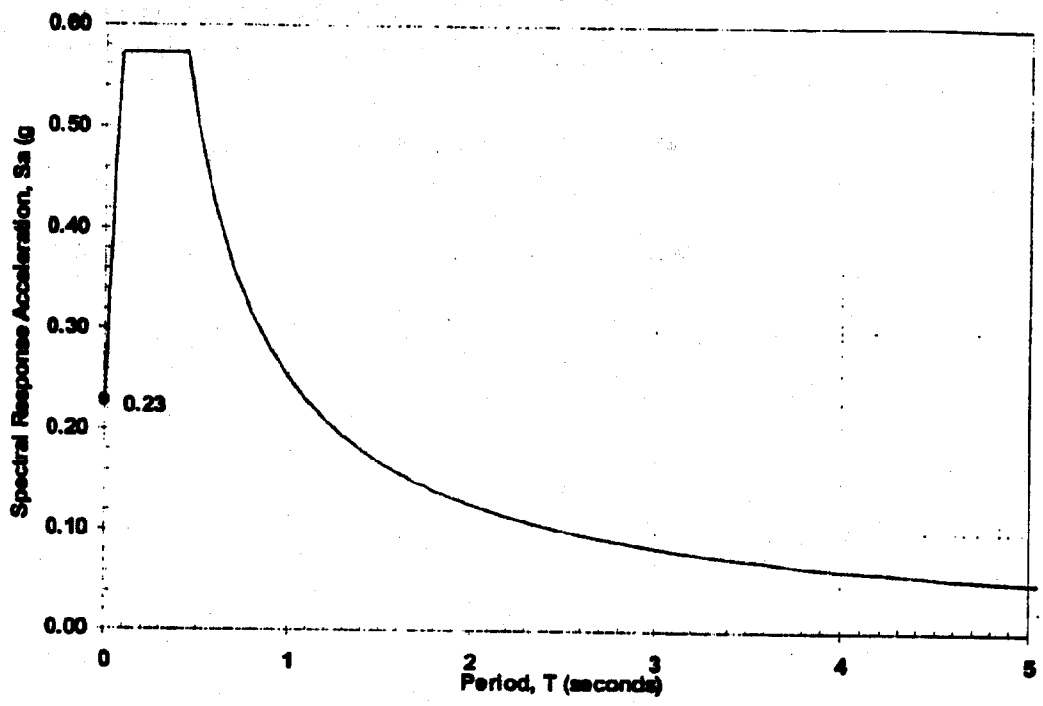


Figure 2. Site Class D Design Response Spectrum.

RECOMMENDATIONS

Breakwater Design

Steel sheet piling can be used for the design of the breakwater. Sheet pile design is pile type, shape, embedment depth, depth of retained soil, and the insitu soil properties. At the time of this report, preliminary design information regarding the breakwater sheet piling has not been provided to WPC. Therefore, we have provided insitu soil properties for use in steel sheet piling design (see subsequent section). When preliminary plans for the breakwater sheet piling become available, WPC can provide lateral earth pressure diagrams and review the geotechnical components of the design.

Insitu Soil Properties

Using the Standard Penetration Test (SPT) N values from the available borings and available correlations within the technical literature, we have determined typical soil properties for the various soil layers for use in sheet pile design. The recommended soil property values for sheet pile design for each soil layer are presented in Table 1.

We note that insitu soil properties based on SPT N values can vary by as much as 20%. Variations of this magnitude may significantly affect sheet pile design values. WPC can review the sheet pile lateral earth pressure calculations upon request.

Table 1. Recommended Soil Properties for Sheet Pile Design.

Soil Layer	Depth[10] (ft)	Soil Property[1]							
		N_{ave}[2] (bpf)	γ_t[3] (pcf)	ϕ'[4] (°)	s_u[5] (psf)	δ[6] (°)	c_a[7] (psf)	K_a[8]	K_p[9]
Sand (SC)	0-2	-	105	30	-	17	-	0.33	3.00
Clay (CH)	2-13	1	95	-	100	-	75	1.00	1.00
Sand (SP)	13-16	19	110	33	-	17	-	0.29	3.39
Clay (CH)	16-20	WOR	95	-	100	-	75	1.00	1.00
Sand (SP)	20-39	21	115	35	-	17	-	0.27	3.69

NOTES:

1. Soil properties determined from average N values and available technical literature correlations.
2. Average SPT N value.
3. Total unit weight. For purposes of design, $\gamma_{total} = \gamma_{moist}$ and $\gamma_{sub} = \gamma_{total} - \gamma_{water}$.
4. Effective friction angle.
5. Undrained shear strength.
6. Interfacial friction angle with steel sheet piling.
7. Interfacial adhesion with steel sheet piling.
8. Coefficient of Active Earth Pressure.
9. Coefficient of Passive Earth Pressure.
10. Depth below existing ground surface.

WPC appreciates the opportunity to be of service to you on this project. This report is for the sole use of this project and should not be relied upon otherwise. If you have questions concerning the contents herein, please contact us.

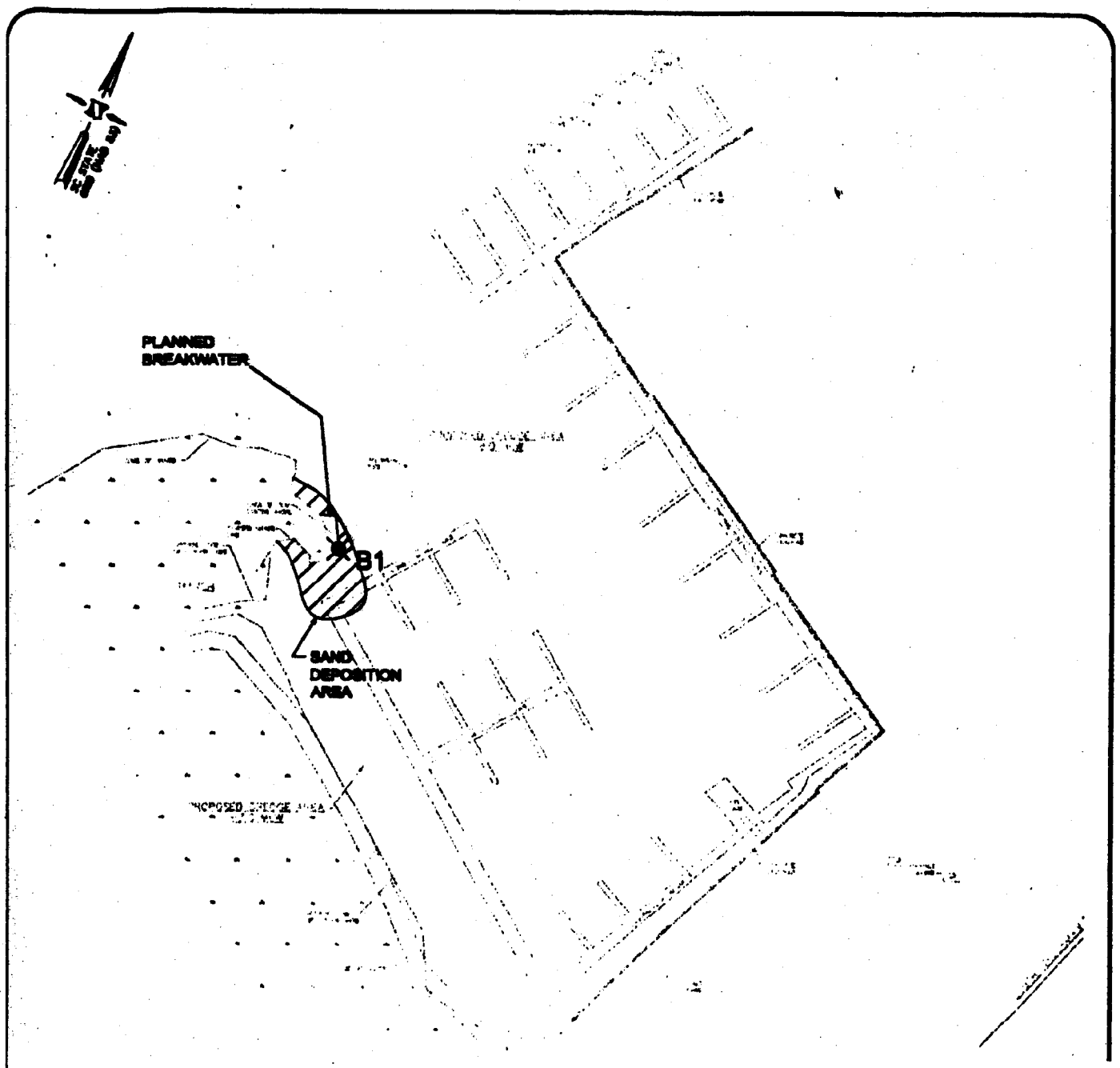
Respectfully submitted,
WPC

Edward L. Hajduk, PE
Senior Geotechnical Engineer

cc: Mr. Eddie Porcher, PE; Stantec Consulting Services, Inc.

Attachments: Figure 1. Test Location Plan

FIGURE 1. TEST LOCATION PLAN



LEGEND

SOIL TEST BORING (B-

Marlin Quay Marina
Georgetown County
P/N #2004-1R-218 (modification)
Sheet 15 of 15

Drawn By: SC
Approved By: EH
Project Number: CHS-06-120
Date: 03.28.06
Scale: NTS

WPC ENGINEERING, ENVIRONMENTAL & CONSTRUCTION SERVICES

1017 Chuck Dawley Boulevard
Mt. Pleasant, SC 29464
tel. 843.884.1234
fax. 843.884.8234
www.wpceng.com

MARLIN QUAY MARINA
GARDEN CITY BEACH, SC

FIGURE 1. TEST LOCATION PLAN